



BENSALEM TOWNSHIP

Building and Planning Department
2400 Byberry Road • Bensalem PA 19020
215-633-3644 • FAX 215-633-3653

Exhibit Z-4

Zoning Hearing Board

Appeal Number: _____

Township of Bensalem, Bucks County, Pennsylvania Notice of Appeal

Appeal is hereby made by the undersigned from the action of the Zoning Officer.

Check applicable item(s):

- ☐ Certification of Non-Conforming Use
- ☐ Application for Validity Challenge
- ☐ Administrative Officer in refusing my application for a building permit dated: _____
- ☐ Special Exception
- ☒ Variance from the terms of the Zoning Ordinance of the Township of Bensalem

Appellant Name: ADVANCED LUBE, INC. (DAVE PARISH)

Address: 520 IMPERIAL COURT
BENSALEM, PA 19020

Phone No. 215-244-2114

Owner's Name: ADVANCED LUBE, INC.

Address: SAME AS ABOVE

Phone No. _____

Attorney Name: _____

Address: _____

Phone No. _____

Interest of appellant, if not owners (agent, lessee, etc.): _____

1. Application relates to the following:

Check items if applicable:

- | | |
|---|--|
| <input type="checkbox"/> Use | <input type="checkbox"/> Lot Area |
| <input type="checkbox"/> Height | <input type="checkbox"/> Yards |
| <input type="checkbox"/> Existing Building | <input type="checkbox"/> Proposed Building |
| <input type="checkbox"/> Occupancy | |
| <input checked="" type="checkbox"/> Other: (describe) | <u>IMPERVIOUS SURFACE RATIO</u> |

2. Brief description of Real Estate affected:

Tax Parcel Number: 02-065-027
Location: 524 IMPERIAL COURT
Lot Size: 307,839 SF
Present Use: PRODUCT MANUFACTURING
Proposed Use: SAME
Present Zoning Classification: R-55
Present Improvement upon Land: BUILDING, DRIVEWAY, TRUCK DOCKS/PARKING
Deed recorded at Doylestown in Deed Book _____ Page _____

3. If this is an appeal to challenge, provide statement and/or basis for challenge to the validity of the zoning ordinance.

4. If this is an Appeal from action of the Zoning Administrative Officer then complete the following:

Date Determination was made: _____

Your statement of alleged error of Zoning Administrative Office: _____

5. Specific reference to section of the Zoning Ordinance upon which application for special exception or variance is based (if special or variance is desired):

CHAPTER 232, SECTION 275(2) : IMPERVIOUS SURFACE

6. Action desired by appellant or applicant (statement of relief sought or special exception or variance desired):

APPLICANT IS SEEKING AN EXPANSION OF AN EXISTING NONCONFORMANCE TO THE TOWNSHIP ZONING ORDINANCE. APPLICANT IS SEEKING TO INCREASE IMPERVIOUS FROM 61.8% TO 71.9%.

7. Reasons appellant believes board should approve desired action (refer to section or sections of ordinance under which it is felt that desired action may be allowed, and not whether hardship is (or is not) claimed, and the specific hardship.

A VARIANCE TO SECTION 275(2) SHOULD BE GRANTED SO THAT PROPERTY OWNER HAS SPACE TO PARK AND STORE VEHICLES ON THEIR PROPERTY IN LIEU OF CURRENT PARKING ALONG STATE RD.

8. Has previous appeal or application for special exception or variance been filed in connection with these premises?

☐ YES ☒ NO

Specifications of errors must state separately the appellant's objections to the action of the zoning administrative office with respect to each question of law and fact which is sought to be reviewed.

I, hereby depose and say that all of the above statements and the statements contained in any papers or plans submitted herewith, are true to the best of my knowledge and belief.

Appellant's or Owner's Signature

Date

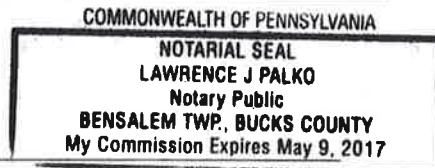
3/28/16

Sworn to and subscribed before me this

28 day of MARCH 20 16

Notary Public

My commission expires:





BENSALEM TOWNSHIP

Building and Planning Department

Office 215-633-3644 • Fax 215-633-3753

Matthew K. Takita

Director of Building and Planning

2400 Byberry Road • Bensalem, PA 19020

March 22, 2016

Cobalt Industrial Partners
c/o Flynn Co.
524 Imperial Ct
Bensalem, PA 19020

Project:	PARKING LOT IMPROVEMENTS
Project Address:	524 IMPERIAL CT BENSALEM, PA 19020
Tax Parcel:	02-065-027
Property Owner:	SAME AS ADDRESSED
Permit Status:	APPLICATION DENIED

Electronic Review Status

Dear Sir/Madam:

A review was conducted on the application for the referenced project pursuant to Chapter 232 ZONING, The attached sheets show what was found during the review and this information is required to complete the permit application for the above referenced project.

The review process utilizes Adobe Acrobat allowing reviewers to make their comments directly on the plan pages. These comments are tracked throughout the review and a printed summary serves as the basis for a rejection on the project until required changes have been made. The attached sheets will show an image of the plan page including its associated comments with connector lines. Only those pages of the plans that require a revision have been generated and included.

You are required to resubmit plans with revisions and will need to burn the **complete** set of plans with revisions to a new disc. Return it to the Building & Planning Department. You are to include a summary list of **all** changes that were made to the plans including those required by the Township. For each change made to the plans, note the sheet number, drawing title, and a brief description of the change made. Please label the disc with the project address, date and revision number to distinguish it from any earlier submissions.

It is our intent that you receive as few rejections as possible and provide reviewers a more efficient method for completing the review by utilizing the comments summary. The print dialog box should include the following summary options:

- * Layout - Document and comments with connector lines on single pages
- * Font Size - Large font size
- * Include - all comments
- * **Clear** - the checkbox to NOT include pages containing no comments

It is possible that upon receipt of the revised plans, additional items for compliance may be required. This letter shall serve as formal notice that your permit application has been rejected for said project until such time as the requested information has been provided.

You have the right to appeal this rejection letter. Applications for the Zoning Hearing Board can be obtained from the Building and Planning Department located in the Municipal Building at 2400 Byberry Road, Bensalem.

Respectfully,

Harold W. Gans, P.E., P.L.S.
Township Engineer

Email address

HWG/lva
Enclosures

cc: _____

Summary of Comments on V8-d-Cover.dgn

Page: 2

Author: rgans Subject: ZONING REJECTED Date: 3/22/2016 9:00:53 AM

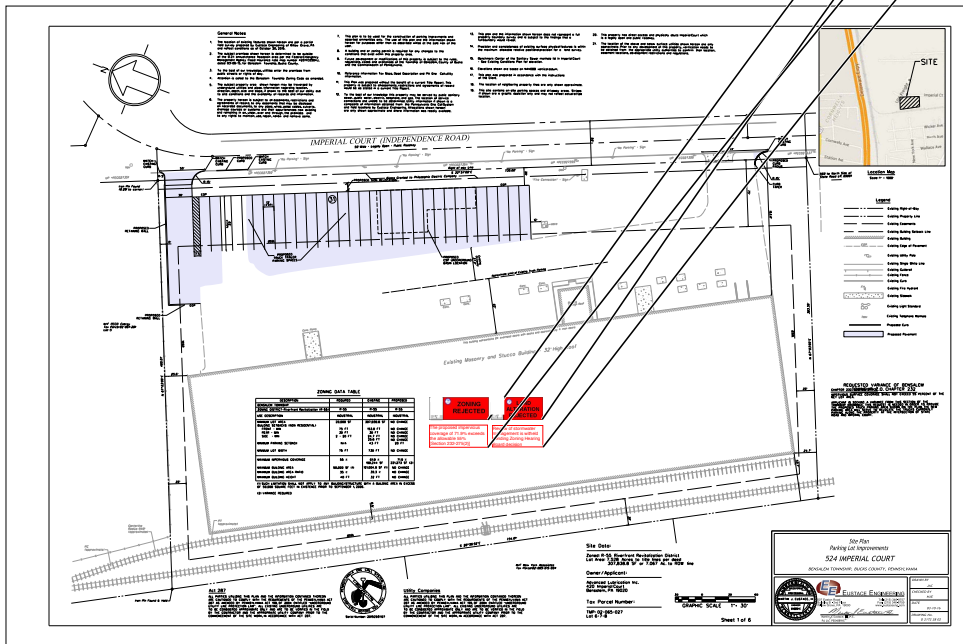
Author: rgans Subject: LAND ALTERATION REJECTED Date: 3/22/2016 9:06:06 AM

Author: rgans Subject: Text Box Date: 3/22/2016 9:05:21 AM

The proposed impervious coverage of 71.9% exceeds the allowable 55%
[Section 232-275(2)]

Author: rgans Subject: Text Box Date: 3/22/2016 9:10:10 AM

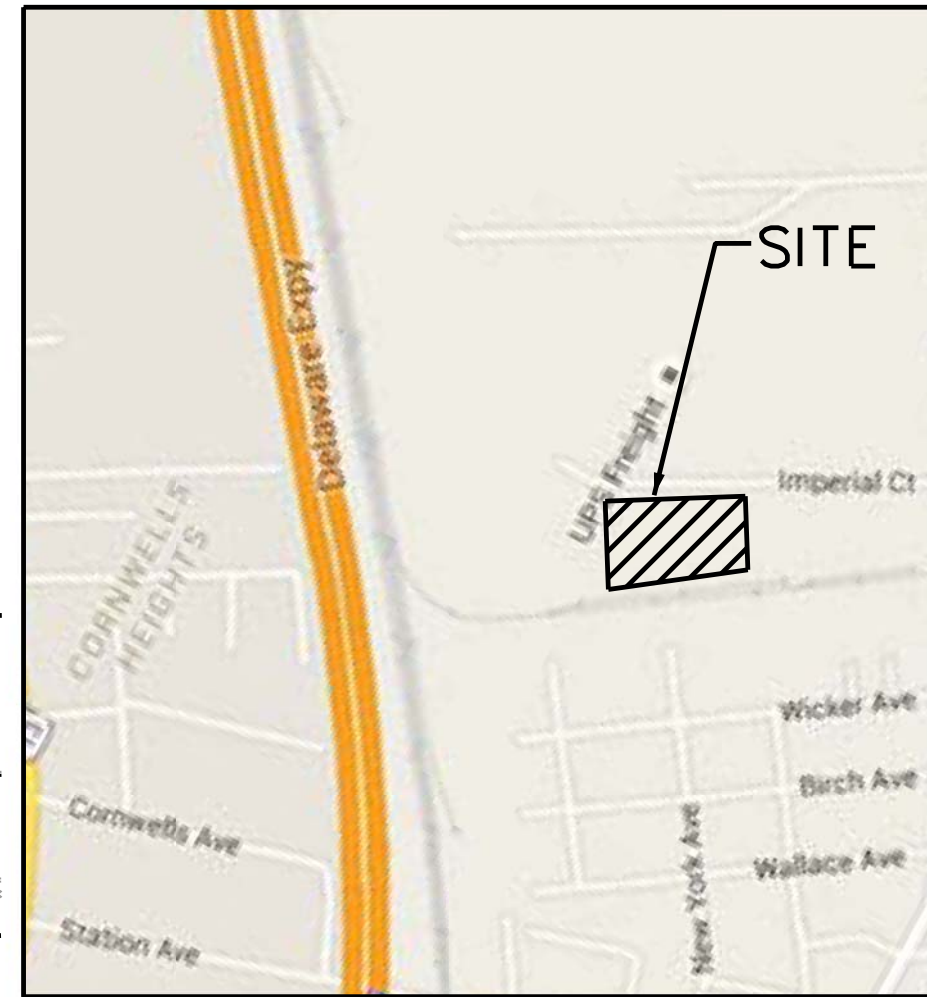
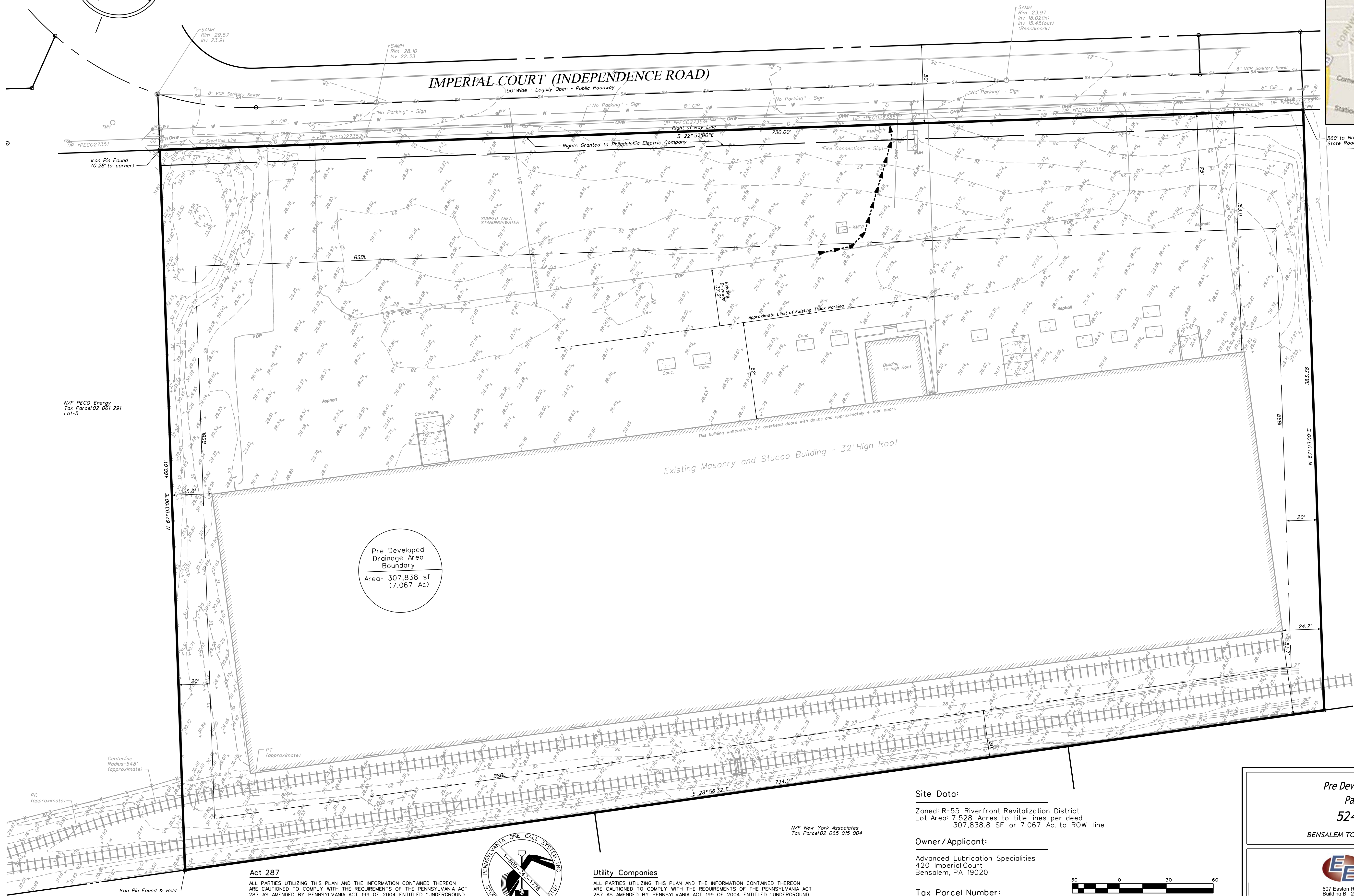
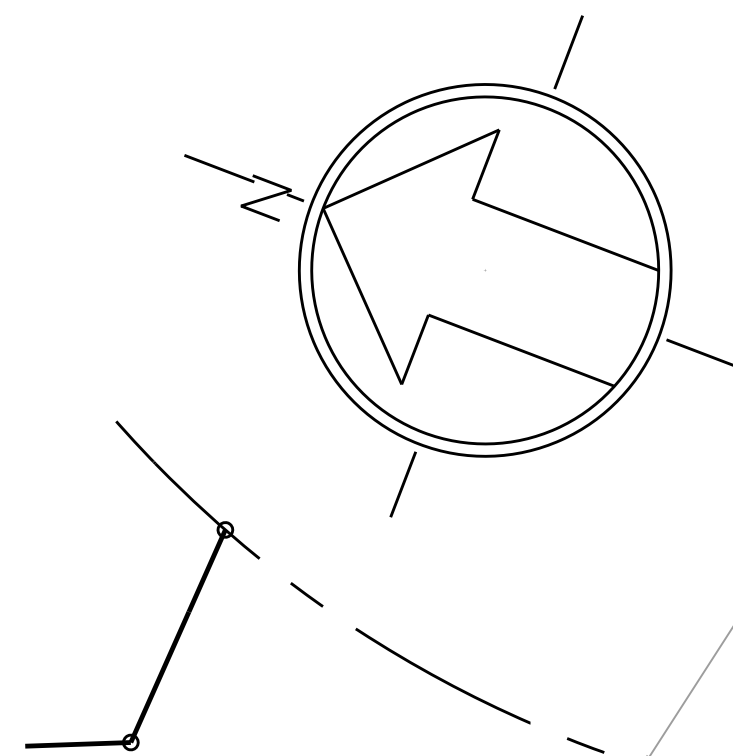
Review of stormwater management is withheld pending Zoning Hearing Board decision





Page: 116

Author: jmler	Subject: Polygonal Line	Date: 3/1/2016 4:25:46 PM -05'00'
Author: jmler	Subject: Polygonal Line	Date: 3/1/2016 4:25:37 PM -05'00'
Author: jmler	Subject: Rectangle	Date: 3/1/2016 4:26:32 PM -05'00'
Author: jmler	Subject: Typewritten Text	Date: 3/1/2016 4:26:37 PM -05'00'
Author: jmler	Subject: Typewritten Text	Date: 3/1/2016 4:26:01 PM -05'00'
Author: jmler	Subject: Typewritten Text	Date: 3/1/2016 4:24:23 PM -05'00'
Web Soil Survey National Cooperative Soil Survey Map Created Tue Mar 1 2016		



Location Map
Scale: 1" = 1000'

- Legend**
- Existing Right-of-Way
 - Existing Property Line
 - Existing Easements
 - Existing Building
 - Existing Edge of Pavement
 - Existing Utility Pole
 - Existing Edge of Vegetation
 - Existing Edge of Stream
 - Existing Single White Line
 - Existing Guideline
 - Existing Fence
 - Existing Curb
 - Existing Fire Hydrant
 - Existing Sidewalk
 - Existing Soils Limit
 - Existing Inlet
 - Existing Sign
 - Existing Manhole
 - Existing Water Valve
 - Existing Light Standard
 - Existing Clean Out
 - Existing Roof Drain
 - Existing Yard Drain
 - Existing Sanitary Manhole
 - Existing Telephone Manhole
 - Existing Gas Valve
 - Existing Time of Concentration (TC)
 - Existing Drainage Area Boundary

Site Data:

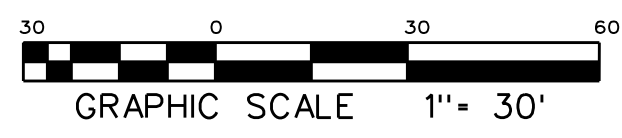
Zoned: R-55 Riverfront Revitalization District
Lot Area: 7.528 Acres to title lines per deed
307,838.8 SF or 7.067 Ac. to ROW line

Owner/Applicant:

Advanced Lubrication Specialties
420 Imperial Court
Bensalem, PA 19020

Tax Parcel Number:

TMP: 02-065-027
Lot 6-7-8



**Pre Development Drainage Area Plan
Parking Lot Improvements
524 IMPERIAL COURT**

BENSALEM TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



607 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19080
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

Martin J. Eustace, III, P.E.
PA Lic. PE048897E

DRAWN BY	JAC
CHECKED BY	MJE
DATE	03-10-16
DRAWING No.	D 2172 28 07

Act 287

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



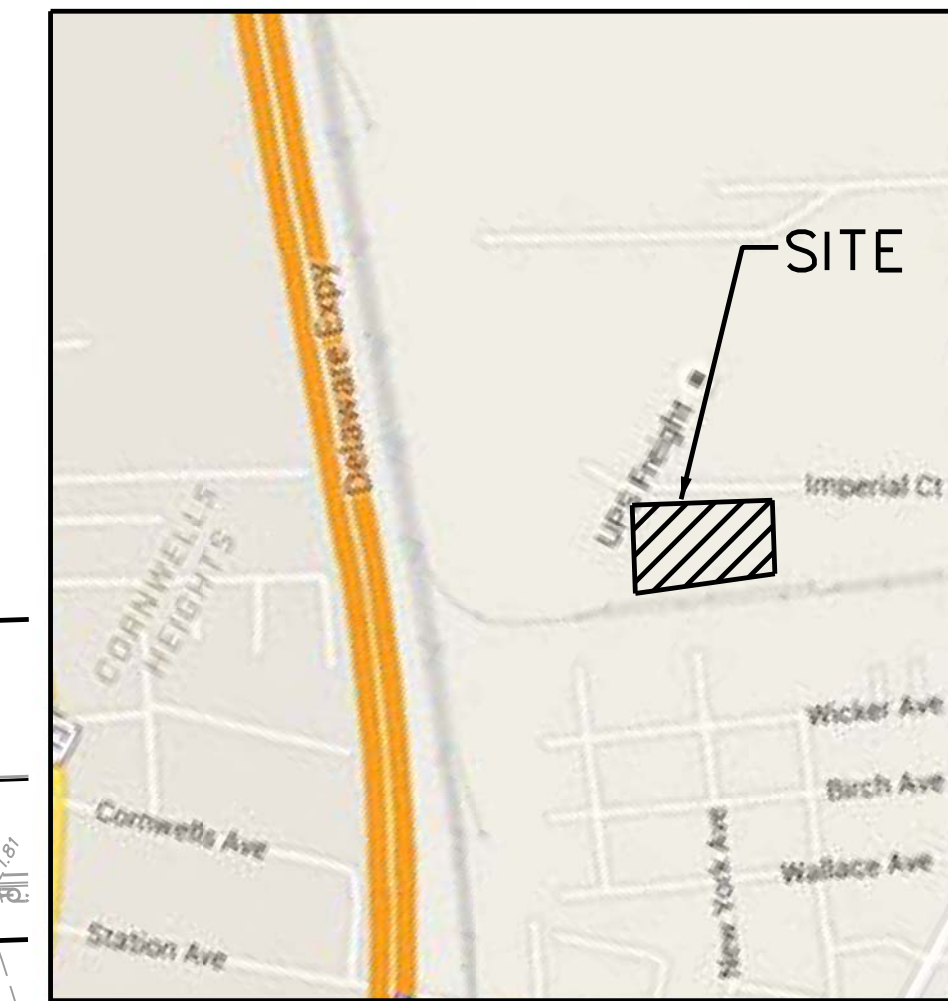
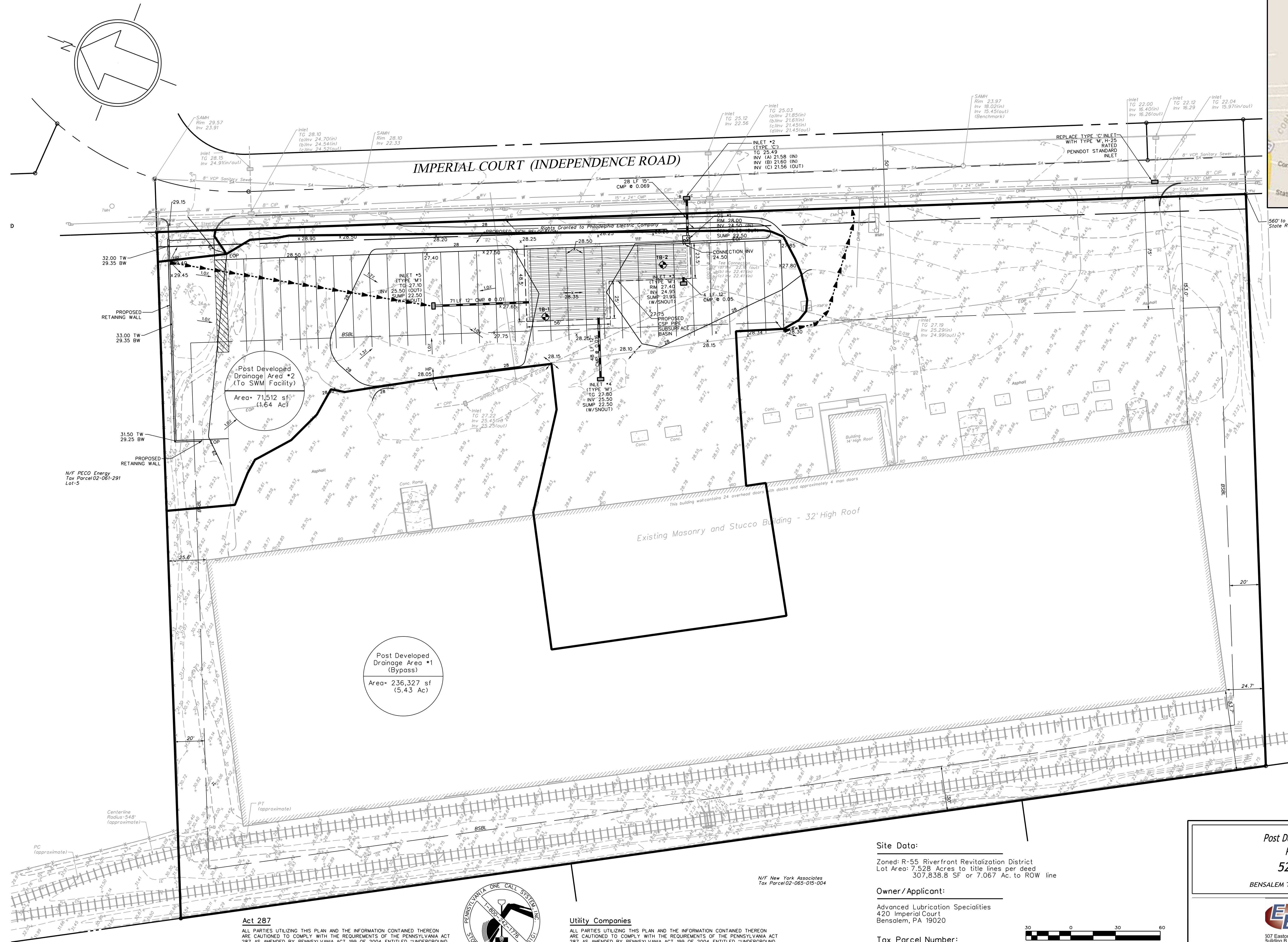
Serial Number: 20152931107

Utility Companies

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N/F New York Associates
Tax Parcel 02-065-015-004

N/F PECO Energy
Tax Parcel 02-061-291
Lot-5



Location Map
Scale: 1" = 1000'

- Legend**
- Existing Right-of-Way
 - Existing Property Line
 - Existing Easements
 - Existing Building
 - Existing Edge of Pavement
 - Existing Utility Pole
 - Existing Edge of Vegetation
 - Existing Edge of Stream
 - Existing Single White Line
 - Existing Guideline
 - Existing Fence
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 - Existing Manhole
 - Existing Water Valve
 - Existing Light Standard
 - Existing Clean Out
 - Existing Roof Drain
 - Existing Yard Drain
 - Existing Sanitary Manhole
 - Existing Telephone Manhole
 - Existing Gas Valve
 - Proposed Time of Concentration (TC)
 - Proposed Drainage Area Boundary

Site Data:

Zoned: R-55 Riverfront Revitalization District
Lot Area: 7.528 Acres to title lines per deed
307,838.8 SF or 7.067 Ac. to ROW line

Owner/Applicant:

Advanced Lubrication Specialties
420 Imperial Court
Bensalem, PA 19020

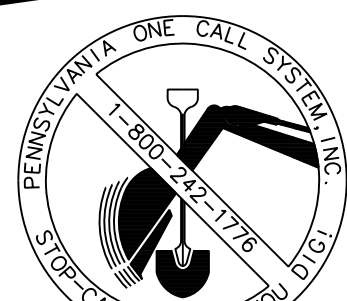
Tax Parcel Number:

TMP: 02-065-027
Lot 6-7-8



Act 287

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Serial Number: 2015293107

Utility Companies

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**Post Development Drainage Area Plan
Parking Lot Improvements
524 IMPERIAL COURT**

BENSALEM TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19080

Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

Marty J. Eustace, III, P.E.
PA Lic. PE048891E

DRAWN BY	JAC
CHECKED BY	MJE
DATE	03-10-16
DRAWING No.	D 2172 28 08

Parking Lot Improvement Plans
524 Imperial Court
Bensalem Township, Bucks County, Pennsylvania

prepared for
Advanced Lube, Inc

prepared by



PLAN INDEX				
DRAWING NO.	SHEET NO.	NAME	DATE	LAST REVISED
2250 06 02	1 OF 6	SITE IMPROVEMENT PLAN	03-10-16	-
2250 06 01	2 OF 6	EXISTING CONDITIONS PLAN	03-10-16	-
2250 06 03	3 OF 6	GRADING/UTILITY/PCSM PLAN	03-10-16	-
2250 06 04	4 OF 6	PCSM/CONSTRUCTION DETAILS	03-10-16	-
2250 06 05	5 OF 6	EROSION AND SEDIMENT CONTROL PLAN	03-10-16	-
2250 06 06	6 OF 6	EROSION AND SEDIMENT CONTROL DETAILS	03-10-16	-

General Notes

- The location of existing features shown hereon are per a partial field survey prepared by Eustace Engineering of Willow Grove, PA and reflect conditions as of October 20, 2015.
- The subject premises shown hereon is determined to be outside of the 0.22 annual chance floodplain area per the Federal Emergency Management Agency Flood Insurance rate map number 42017C0504J, dated 03-06-15, for Bensalem Township, Bucks County.
- To the best of our knowledge, utilities enter the premises from public streets or rights of way.
- Attention is called to the Bensalem Township Zoning Code as amended.
- The subject property area shown hereon may be traversed by underground utilities and pipes. Information regarding location, direction, depth, size and slope, if shown to the best of our ability due to site conditions and the availability of records and information.
- The property hereon is subject to all easements, restrictions and agreements of record, to any pipes, wires, poles, cables, culverts, drainage courses or systems and their appurtenances now existing and remaining in on, under, over and through, the premises and to any rights to maintain, use, repair, renew and remove same.

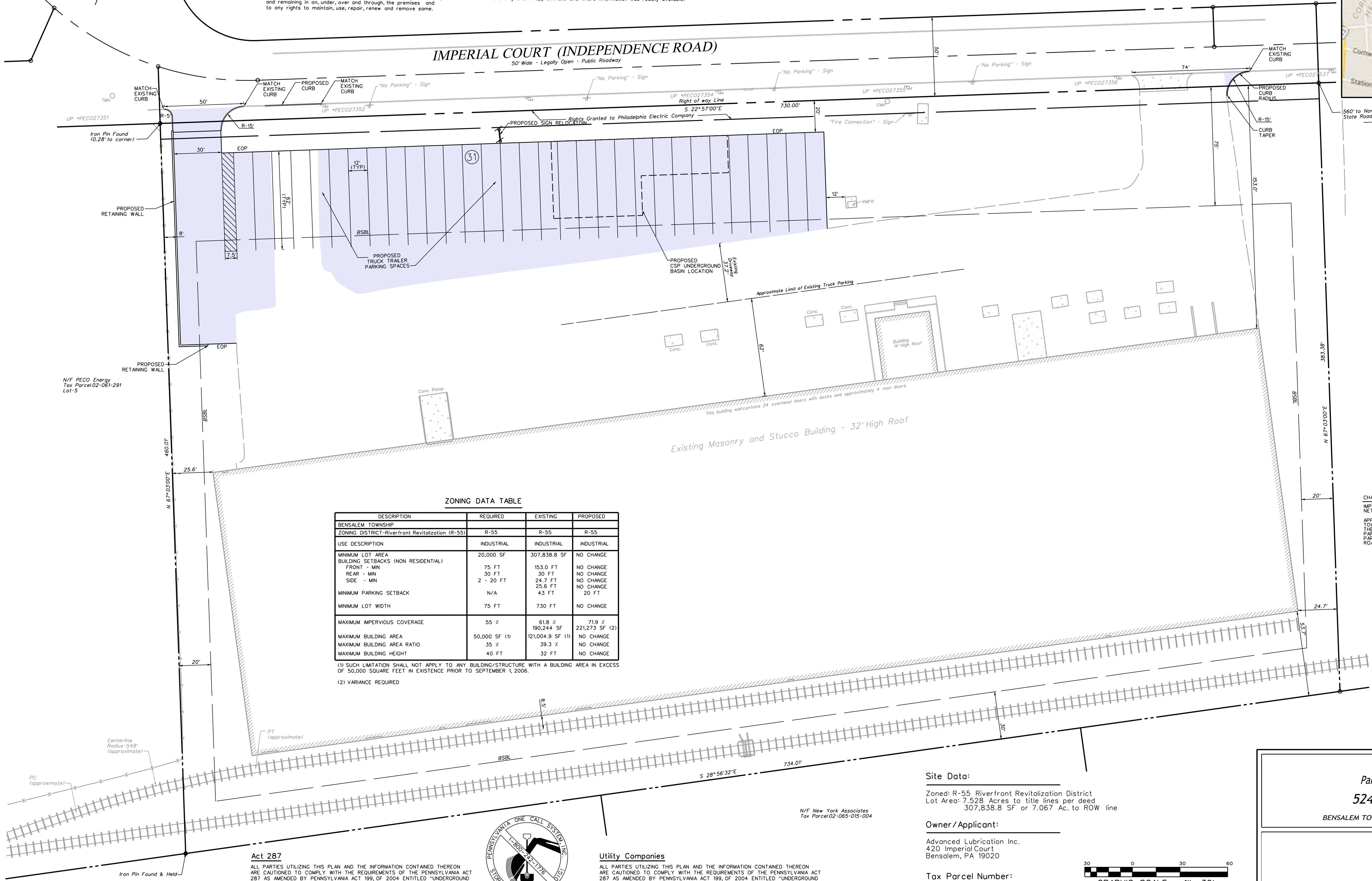
- This plan is to be used for the construction of parking improvements and assorted amenities only. The use of this plan and the information shown hereon for purposes other than as described will be at the sole risk of the user.
- A building and/or zoning permit is required for any changes to the conditions that exist within this property area.
- Future development or modifications of this property is subject to the rules, regulations, codes and ordinances of the Township of Bensalem, County of Bucks and the Commonwealth of Pennsylvania.
- Reference information: Tax Maps, Deed Description and PA One Call utility information.
- This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions and agreements of record would be as stated in a current Title Report.
- To the best of our knowledge this property may be served by public sanitary sewer, public water, electric, telephone, and gas. The location of service connections are unable to be determined. Utility information if shown is a composite of information obtained from the Pennsylvania One Call System and field locations by Eustace Engineering. Allocations shown hereon are only shown approximate and where information was readily available.

- This plan and the information shown hereon does not represent a full property boundary survey and is subject to the findings that a full boundary would reveal.
- Precision and completeness of existing surface physical features is within the maximum allowable relative positional precision for a land survey.
- Benchmark: Center of the Sanitary Sewer manhole lid in Imperial Court - See Existing Conditions Plan for elevation.
- Elevations shown are based on NAVD88 vertical datum.
- This plan was prepared in accordance with the instructions of the Client.
- The location of neighboring property lines are only shown approximate.
- This site contains on-site parking spaces and driveway areas. Stripes if shown are a graphic depiction only and may not reflect actual stripe location.

- This property has direct access and physically abuts Imperial Court which is a legally open and public roadway.
- The location of the above and below surface utilities shown hereon are only approximate. Prior to any development of this property, verification needs to be obtained from the appropriate utility authorities to confirm their location, easement locations, development restrictions and regulations.

IMPERIAL COURT (INDEPENDENCE ROAD)

50' Wide - Legally Open - Public Roadway



ZONING DATA TABLE

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
BENSALEM TOWNSHIP			
ZONING DISTRICT-Riverfront Revitalization (R-55)	R-55	R-55	R-55
USE DESCRIPTION	INDUSTRIAL	INDUSTRIAL	INDUSTRIAL
MINIMUM LOT AREA	20,000 SF	307,838.8 SF	NO CHANGE
BUILDING SETBACKS (NON RESIDENTIAL)			
FRONT - MIN	75 FT	153.0 FT	NO CHANGE
REAR - MIN	30 FT	30 FT	NO CHANGE
SIDE - MIN	2 - 20 FT	24.7 FT	NO CHANGE
MINIMUM PARKING SETBACK	N/A	43 FT	20 FT
MINIMUM LOT WIDTH	75 FT	730 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	55 %	61.8 %	71.9 %
MAXIMUM BUILDING AREA	50,000 SF (1)	121,004.9 SF (1)	NO CHANGE
MAXIMUM BUILDING AREA RATIO	35 %	39.3 %	NO CHANGE
MAXIMUM BUILDING HEIGHT	40 FT	32 FT	NO CHANGE

(1) SUCH LIMITATION SHALL NOT APPLY TO ANY BUILDING/STRUCTURE WITH A BUILDING AREA IN EXCESS OF 50,000 SQUARE FEET IN EXISTENCE PRIOR TO SEPTEMBER 1, 2006.

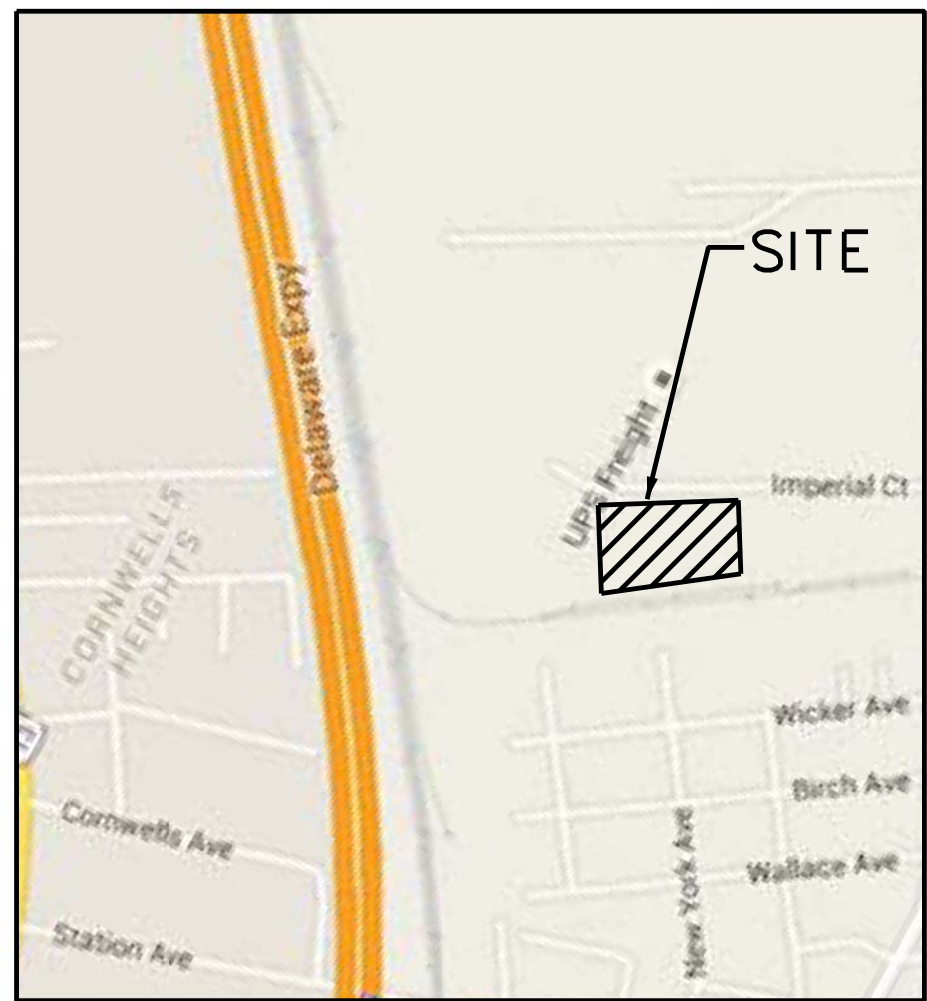
(2) VARIANCE REQUIRED

Utility Companies

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Serial Number: 20152931107



Location Map

Scale: 1" = 1000'

Legend

- Existing Right-of-Way
- Existing Property Line
- Existing Easements
- Existing Building Setback Line
- Existing Building
- Existing Edge of Pavement
- Existing Utility Pole
- Existing Single White Line
- Existing Guiderail
- Existing Fence
- Existing Curb
- Existing Fire Hydrant
- Existing Sidewalk
- Existing Light Standard
- Existing Telephone Manhole
- Proposed Curb
- Proposed Pavement

REQUESTED VARIANCE OF BENSALEM TOWNSHIP Z.O. CHAPTER 232 IMPERVIOUS SURFACE COVERAGE SHALL NOT EXCEED 55 PERCENT OF THE NET LOT AREA. APPLICANT IS SEEKING A VARIANCE FROM THIS SECTION OF THE TOWNSHIP ORDINANCE. THIS REQUEST IS NEEDED IN ORDER TO PROVIDE THE PROPOSED TRUCK PARKING AREA SHOWN ON THE PLAN. THE NEW PARKING AREA WILL SERVE TO RELOCATE THE TRUCKS CURRENTLY PARKING ALONG THE PROPERTY AT THE INTERSECTION OF STATE ROAD AND IMPERIAL COURT.

Site Data:

Zoned: R-55 Riverfront Revitalization District
Lot Area: 7.528 Acres to title lines per deed
307,838.8 SF or 7.067 Ac. to ROW line

Owner/Applicant:

Advanced Lubrication Inc.
420 Imperial Court
Bensalem, PA 19020

Tax Parcel Number:

TMP: 02-065-027
Lot 6-7-8



Site Plan
Parking Lot Improvements
524 IMPERIAL COURT

BENSALEM TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DRAWN BY

JAC

CHECKED BY

MJE

DATE

03-10-16

DRAWING No.

D 2172 28 02

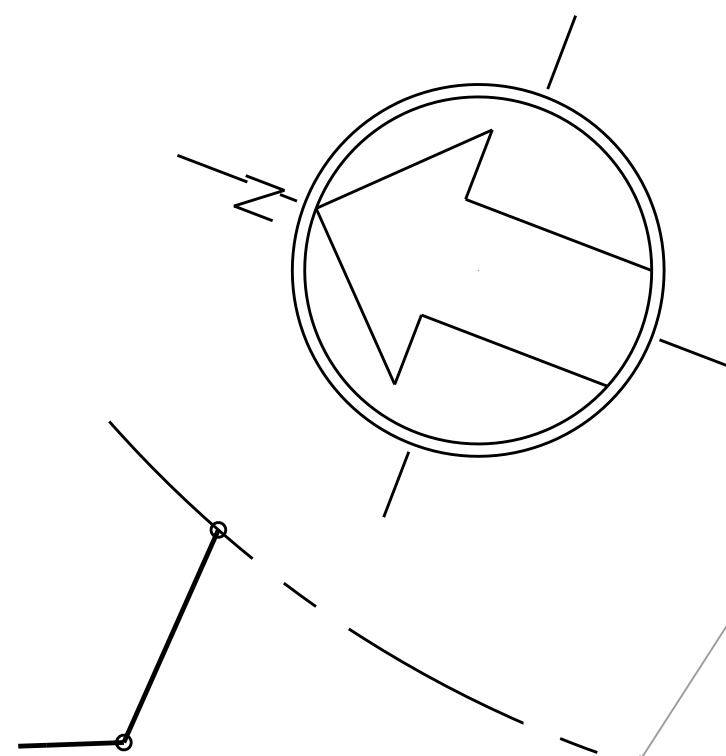
General Notes

1. The location of existing features shown hereon are per a partial field survey prepared by Eustace Engineering of Willow Grove, PA and reflect conditions as of October 20, 2015.
2. The subject premises shown hereon is determined to be outside of the 0.2% annual chance floodplain area per the Federal Emergency Management Agency Flood Insurance rate map number 42017C05044, dated 03-06-15, for Bensalem Township, Bucks County.
3. To the best of our knowledge, utilities enter the premises from public streets or rights of way.
4. Attention is called to the Bensalem Township Zoning Code as amended.
5. The subject property area shown hereon may be traversed by underground utilities and pipes. Information regarding location, direction, depth, size and slope, if shown to the best of our ability due to site conditions and the availability of records and information.
6. The property hereon is subject to all easements, restrictions and agreements of record, to any easements that may be disclosed on recorded documents, to any pipes, wires, poles, cables, culverts, drainage courses or systems and their appurtenances now existing and remaining in on, under, over and through, the premises and to any rights to maintain, use, repair, renew and remove same.

7. This plan is to be used for Existing Conditions site condition purposes only. The use of this plan and the information shown hereon for purposes other than as described will be at the sole risk of the user.
8. A building and/or zoning permit is required for any changes to the conditions that exist within this property area.
9. Future development or modifications of this property is subject to the rules, regulations, codes and ordinances of the Township of Bensalem, County of Bucks and the Commonwealth of Pennsylvania.
10. Reference information: Tax Maps, Deed Description and PA One Call utility information.
11. This Plan was prepared without the benefit of a current Title Report. This property is subject to all easements, restrictions and agreements of record would be as stated in a current Title Report.
12. To the best of our knowledge this property may be served by public sanitary sewer, public water, electric, telephone, and gas. The location of service connections are unable to be determined. Utility information if shown is a composite of information obtained from the Pennsylvania One Call System and field locations by Eustace Engineering. All locations shown hereon are only shown approximate and where information was readily available.

13. This plan and the information shown hereon does not represent a full property boundary survey and is subject to the findings that a full boundary would reveal.
14. Precision and completeness of existing surface physical features is within the maximum allowable relative positional precision for a land survey.
15. Benchmark: Center of the Sanitary Sewer manhole lid in Imperial Court - Elevation -
16. Vegetation as shown hereon is approximate and is for graphic depiction purposes.
17. Elevations shown are based on NAVD83 vertical datum.
18. This plan was prepared in accordance with the instructions of the Client.

19. Items shown with an asterisk (*) are: (a) items that are a composite of field data and/or reference material; (b) items not able to be obtained and/or determined due to field conditions. These items are not to be considered absolute and are subject to the findings that further verification would reveal.
20. The location of neighboring property lines are only shown approximate.
21. This site contains on-site parking spaces and driveway areas. Stripes if shown are a graphic depiction only and may not reflect actual stripe location.
22. This property has direct access and physically abuts Imperial Court which is a legally open and public roadway.
23. The location of the above and below surface utilities shown hereon are only approximate. Prior to any development of this property, verification needs to be obtained from the appropriate utility authorities to confirm their location, easement locations, development restrictions and regulations.

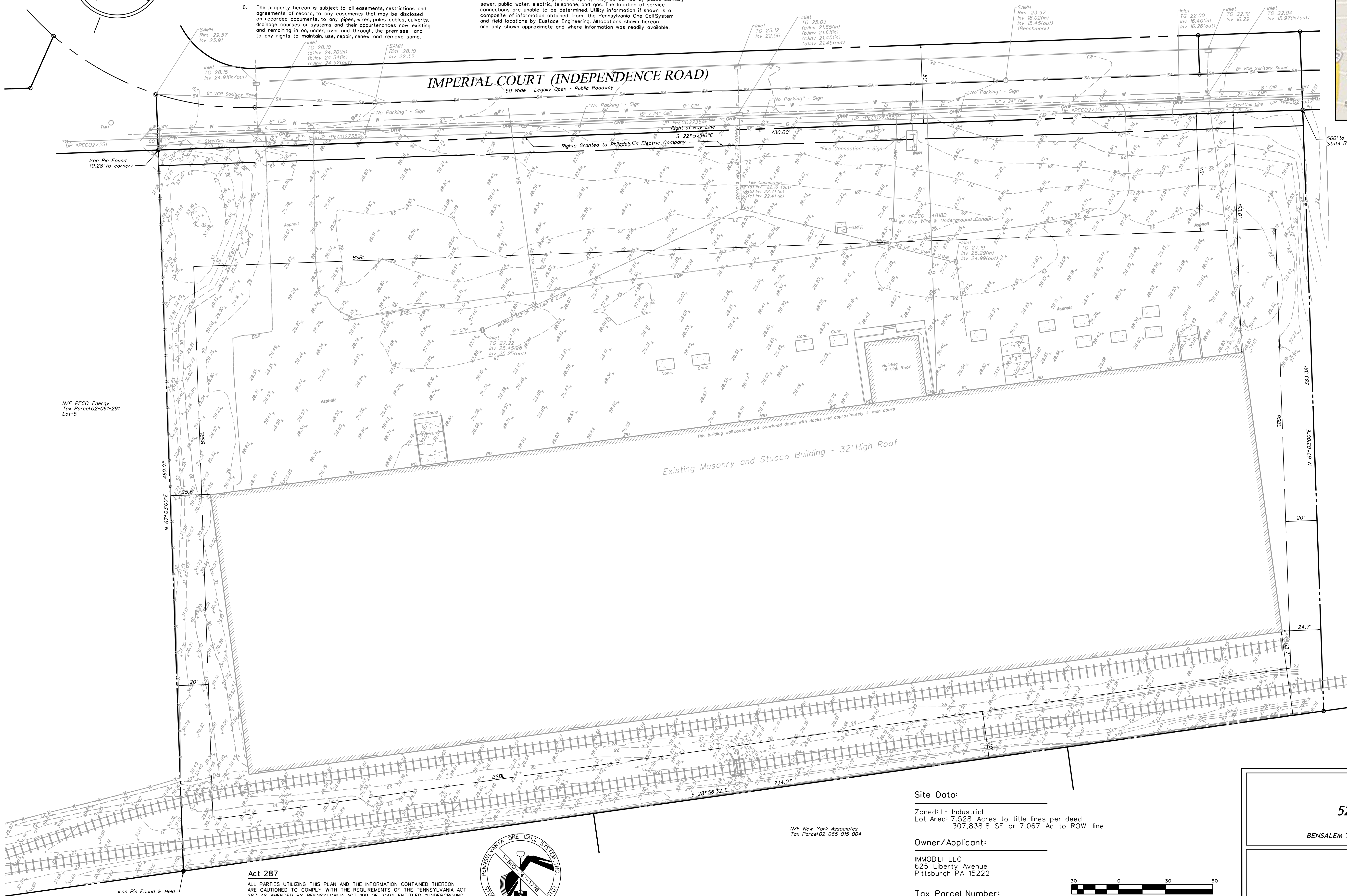


Location Map

Scale: 1" = 1000'

Legend

- Existing Right-of-Way
- Existing Property Line
- Existing Easements
- Existing Building Setback Line
- Existing Building
- Existing Edge of Pavement
- Existing Index Contour Line
- Existing Contour Line
- Existing Water Line
- Existing Sanitary Sewer
- Existing Storm Sewer
- Existing Gas Line
- Existing Utility Pole
- Existing Edge of Stream
- Existing Single White Line
- Existing Guiderail
- Existing Fence
- Existing Curb
- Existing Fire Hydrant
- Existing Sidewalk
- Existing Soils Limit
- Existing Inlet
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- Existing Manhole
- Existing Water Valve
- Existing Light Standard
- Existing Clean Out
- Existing Roof Drain
- Existing Yard Drain
- Existing Sanitary Manhole
- Existing Telephone Manhole
- Existing Gas Valve
- Existing Transformer



Act 287

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



Serial Number: xxxxxxx

N/F New York Associates
Tax Parcel 02-065-015-004

Site Data:

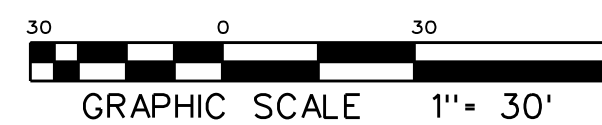
Zoned: I- Industrial
Lot Area: 7.528 Acres to title lines per deed
307,838.8 SF or 7.067 Ac. to ROW line

Owner/Applicant:

IMMOBILI LLC
625 Liberty Avenue
Pittsburgh PA 15222

Tax Parcel Number:

TMP: 02-065-027
Lot 6-7-8



Existing Conditions Plan

524 IMPERIAL COURT

BENSALEM TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

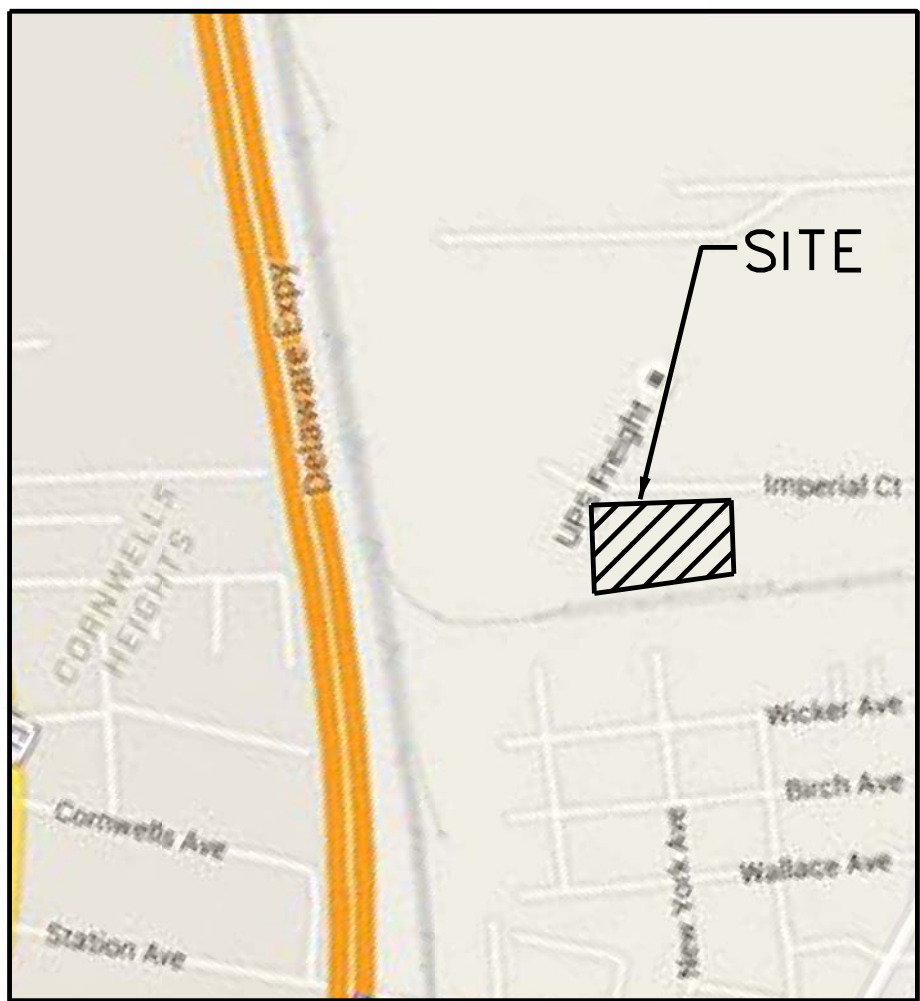
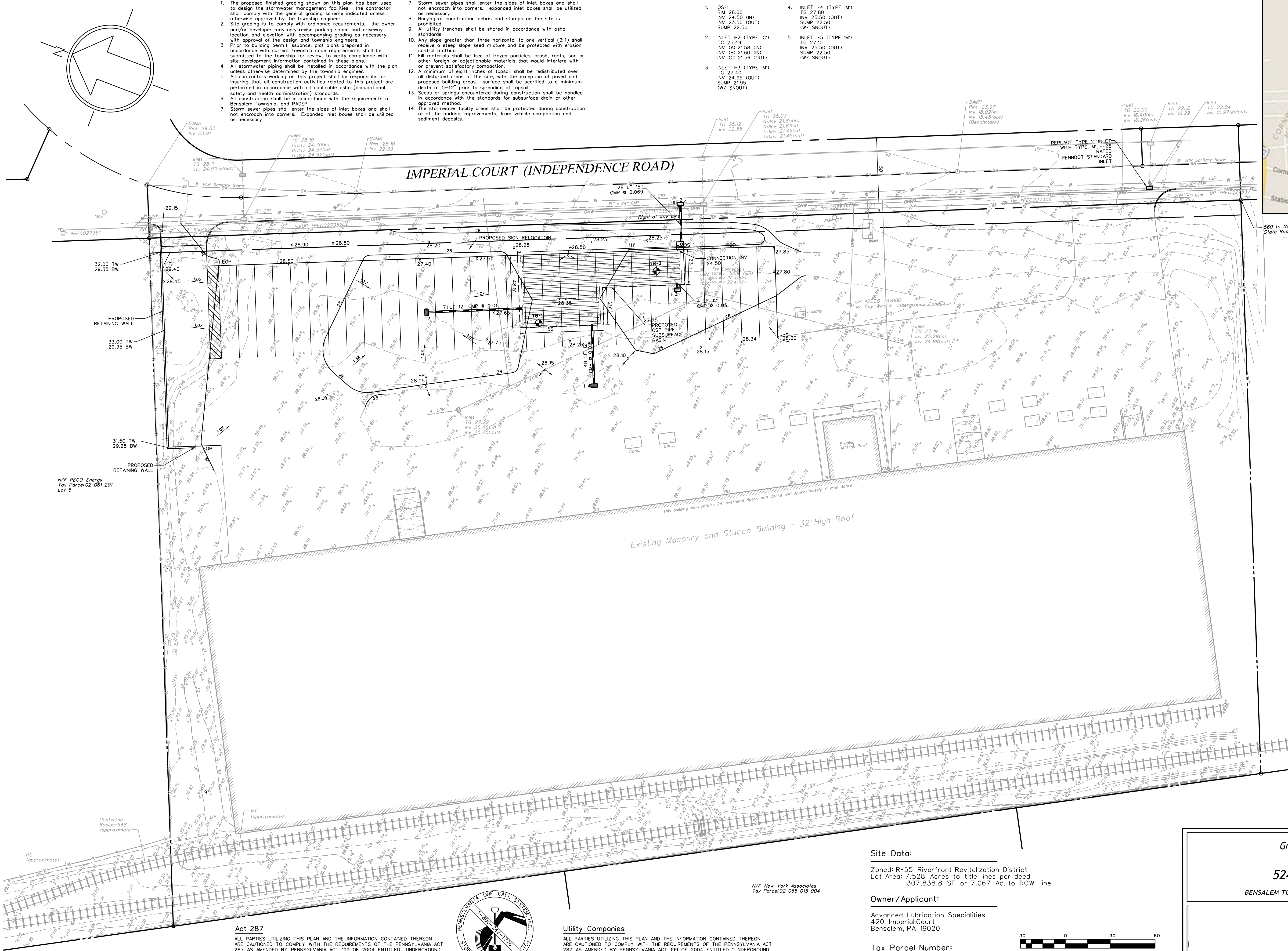
DRAWN BY
MES
CHECKED BY
RGS
DATE
10-26-15
DRAWING No.
D 2172 28 01

GRADING AND DRAINAGE NOTES

- The proposed finished grading shown on this plan has been used to design the stormwater management facilities. the contractor shall comply with the general grading scheme indicated unless otherwise approved by the township engineer.
- Site grading is to comply with ordinance requirements. the owner and/or developer may only revise parking space and driveway location and elevation with accompanying grading as necessary with approval of the design and township engineers.
- Prior to building permit issuance, plot plans prepared in accordance with current township code requirements shall be submitted to the township for review, to verify compliance with site development information contained in these plans.
- All stormwater piping shall be installed in accordance with the plan unless otherwise determined by the township engineer.
- All contractors working on this project shall be responsible for insuring that all construction activities related to this project are performed in accordance with all applicable osha (occupational safety and health administration) standards.
- All construction shall be in accordance with the requirements of Bensalem Township, and PADEP.
- Storm sewer pipes shall enter the sides of inlet boxes and shall not encroach into corners. Expanded inlet boxes shall be utilized as necessary.
- Storm sewer pipes shall enter the sides of inlet boxes and shall not encroach into corners. expanded inlet boxes shall be utilized as necessary.
- Burying of construction debris and stumps on the site is prohibited.
- All utility trenches shall be shored in accordance with osha standards.
- Any slope greater than three horizontal to one vertical (3:1) shall receive a steep slope seed mixture and be protected with erosion control matting.
- Fill materials shall be free of frozen particles, brush, roots, sod or other foreign or objectionable materials that would interfere with or prevent satisfactory compaction.
- A minimum of eight inches of topsoil shall be redistributed over all disturbed areas of the site, with the exception of paved and proposed building areas. surface shall be scarified to a minimum depth of 5-12" prior to spreading of topsoil.
- Seeps or springs encountered during construction shall be handled in accordance with the standards for subsurface drain or other approved method.
- The stormwater facility areas shall be protected during construction of the parking improvements, from vehicle compaction and sediment deposits.

Storm Structure Schedule

- OS-1
RM 28.00
INV 24.50 (IN)
INV 23.50 (OUT)
SUMP 22.50
- INLET I-2 (TYPE 'C')
TG 25.49
INV (A) 21.58 (IN)
INV (B) 21.60 (IN)
INV (C) 21.56 (OUT)
SUMP 21.95
(W/ SNOUT)
- INLET I-3 (TYPE 'M')
TG 27.40
INV 24.95 (IN)
SUMP 22.50
(W/ SNOUT)
- INLET I-4 (TYPE 'M')
TG 27.80
INV 25.50 (OUT)
SUMP 22.50
(W/ SNOUT)
- INLET I-5 (TYPE 'M')
TG 27.10
INV 25.50 (OUT)
SUMP 22.50
(W/ SNOUT)



Location Map

Scale: 1" = 1000'

Legend

- Existing Right-of-Way
- Existing Property Line
- Existing Easements
- Existing Building
- Existing Edge of Pavement
- Existing Utility Pole
- Existing Edge of Stream
- Existing Single White Line
- Existing Guideline
- Existing Fence
- Existing Curb
- Existing Fire Hydrant
- Existing Sidewalk
- Existing Soils Limit
- Existing Inlet
- Existing Sign
- Existing Manhole
- Existing Water Valve
- Existing Light Standard
- Existing Clean Out
- Existing Roof Drain
- Existing Yard Drain
- Existing Sanitary Manhole
- Existing Telephone Manhole
- Existing Gas Valve
- Existing Index Contour Line
- Existing Contour Line
- Existing Water Line
- Existing Sanitary Sewer
- Existing Storm Sewer
- Existing Gas Line
- Proposed Curb
- Proposed Contour
- Proposed Spot Grade
- Proposed Infiltration Testing Location
- Proposed Subsurface Basin
- Proposed Edge of Pavement
- Flow Arrow

Site Data:

Zoned: R-55 Riverfront Revitalization District
Lot Area: 7.528 Acres to title lines per deed
307,838.8 SF or 7.067 Ac. to ROW line

Owner/Applicant:

Advanced Lubrication Specialties
420 Imperial Court
Bensalem, PA 19020

Tax Parcel Number:

TMP: 02-065-027
Lot 6-7-8



Sheet 3 of 6

Grading/Utility/PCSM Plan

524 IMPERIAL COURT

BENSALEM TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DRAWN BY

JAC

CHECKED BY

MJE

DATE

03-10-16

DRAWING No.

D 2172 28 03

Act 287

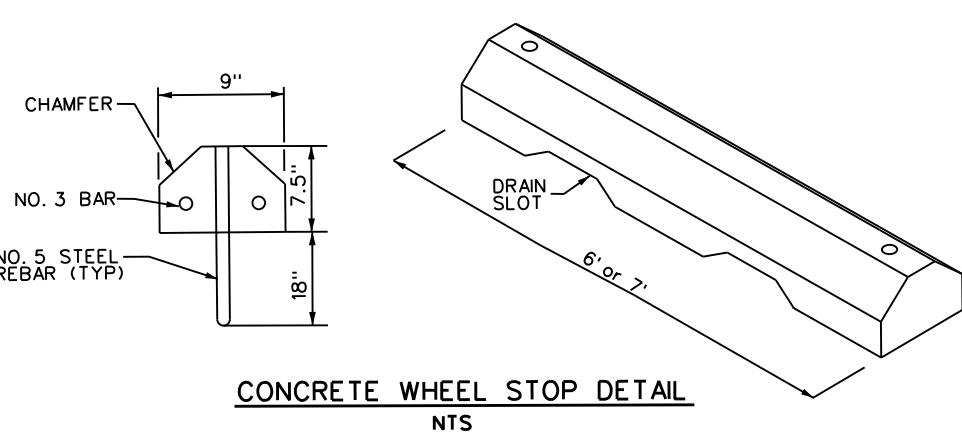
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



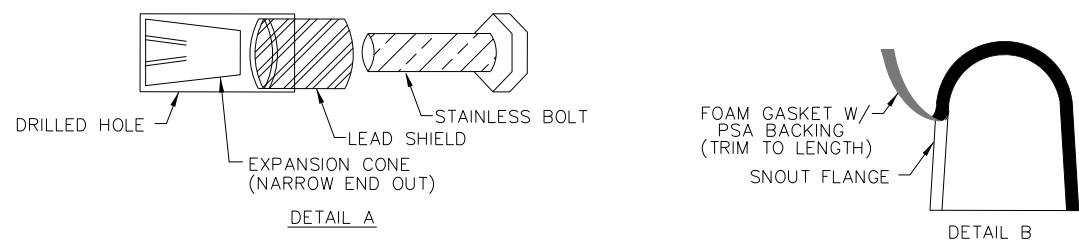
Serial Number: 20152931107

Utility Companies

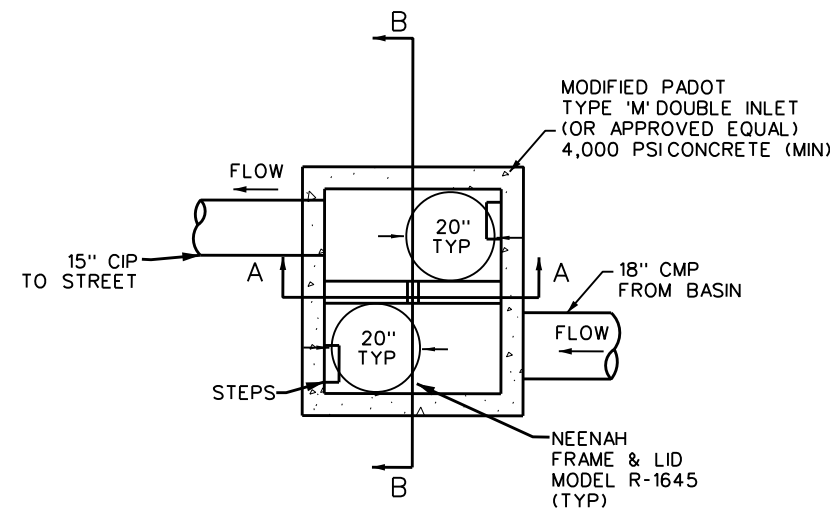
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



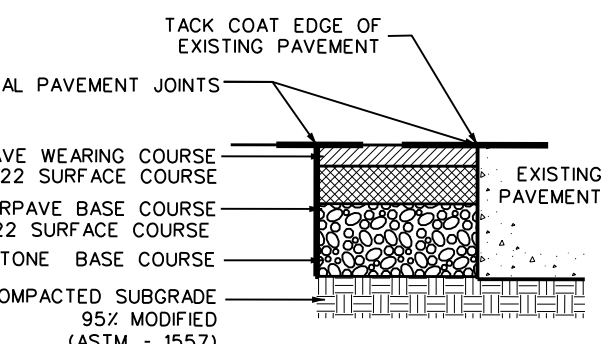
BEST MANAGEMENT PRODUCTS, INC.
"SNOUT" OIL & DEBRIS STOP
INSTALLATION DIAGRAM (TYPICAL)



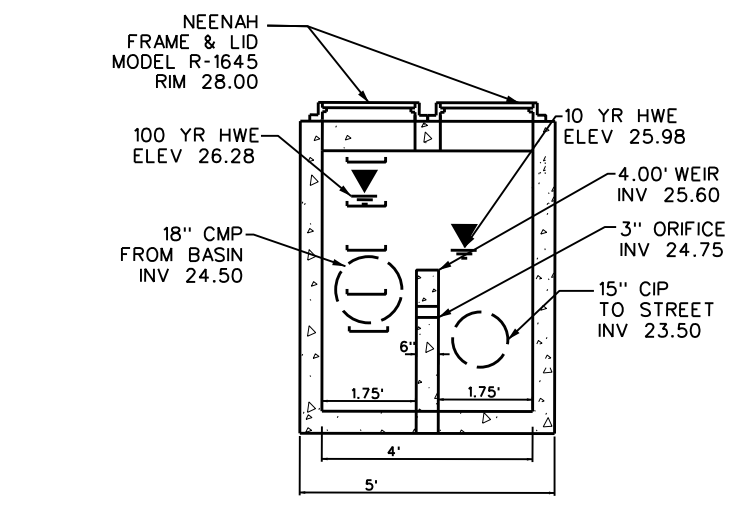
BEST MANAGEMENT PRODUCTS, INC.
"SNOUT" OIL & DEBRIS STOP
INSTALLATION DIAGRAM (TYPICAL)



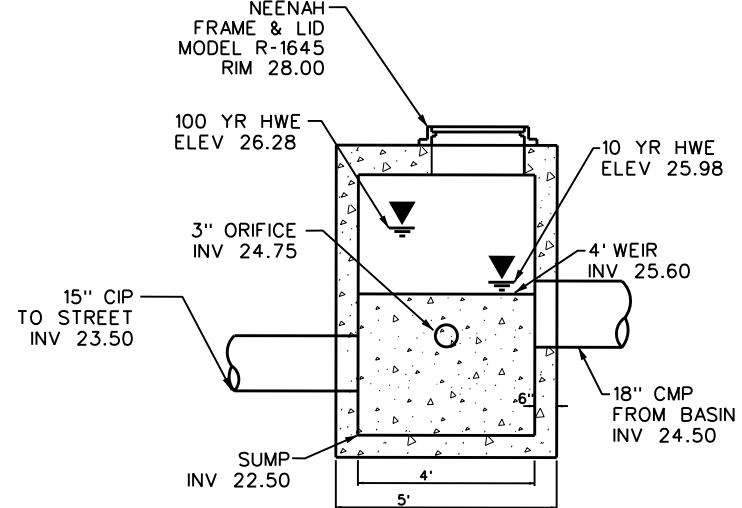
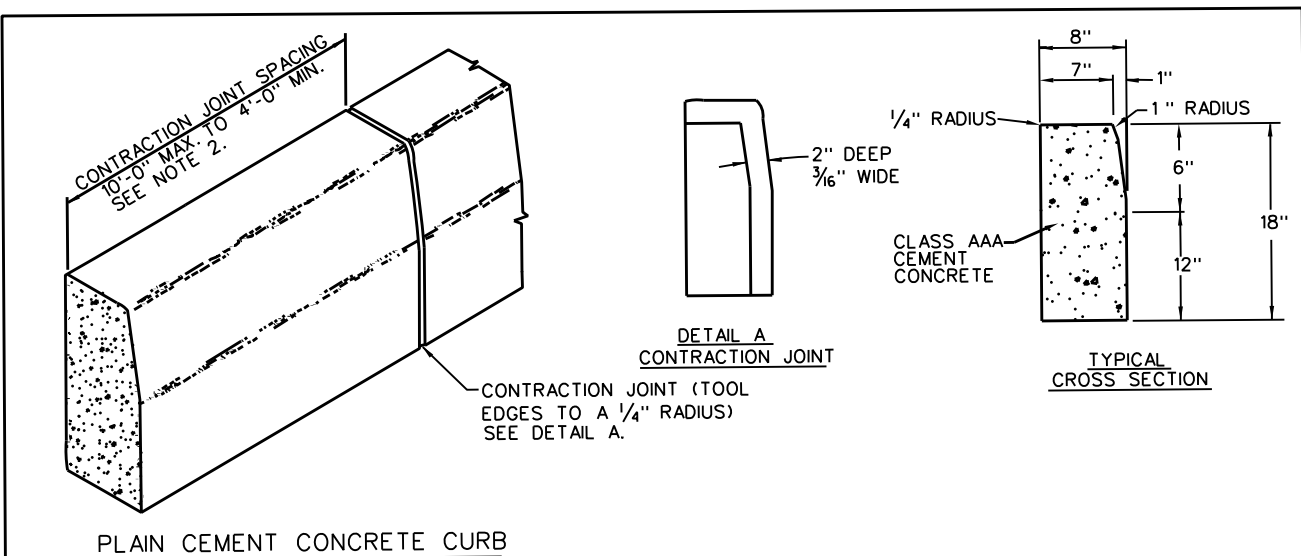
TYPICAL PAVEMENT SECTION DETAIL



TYPICAL PAVEMENT SECTION DETAIL



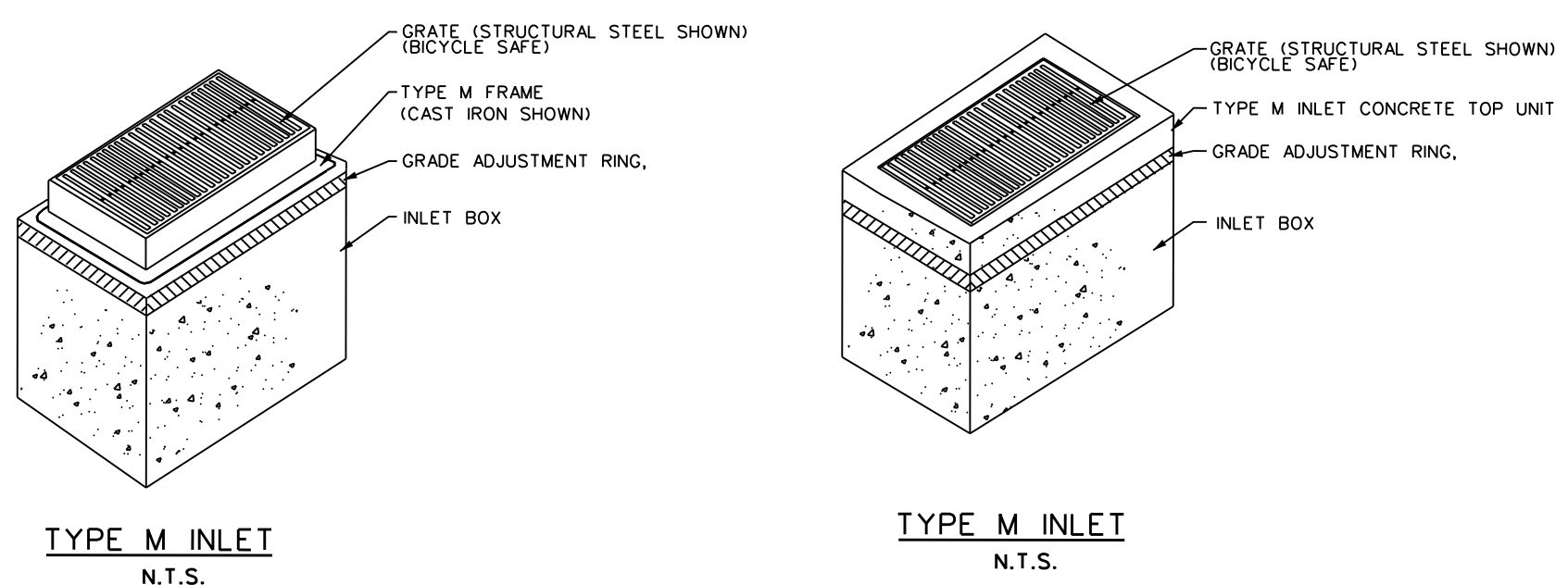
OUTLET STRUCTURE 1
SECTION B-B

OUTLET STRUCTURE
SECTION A-A

NOTES

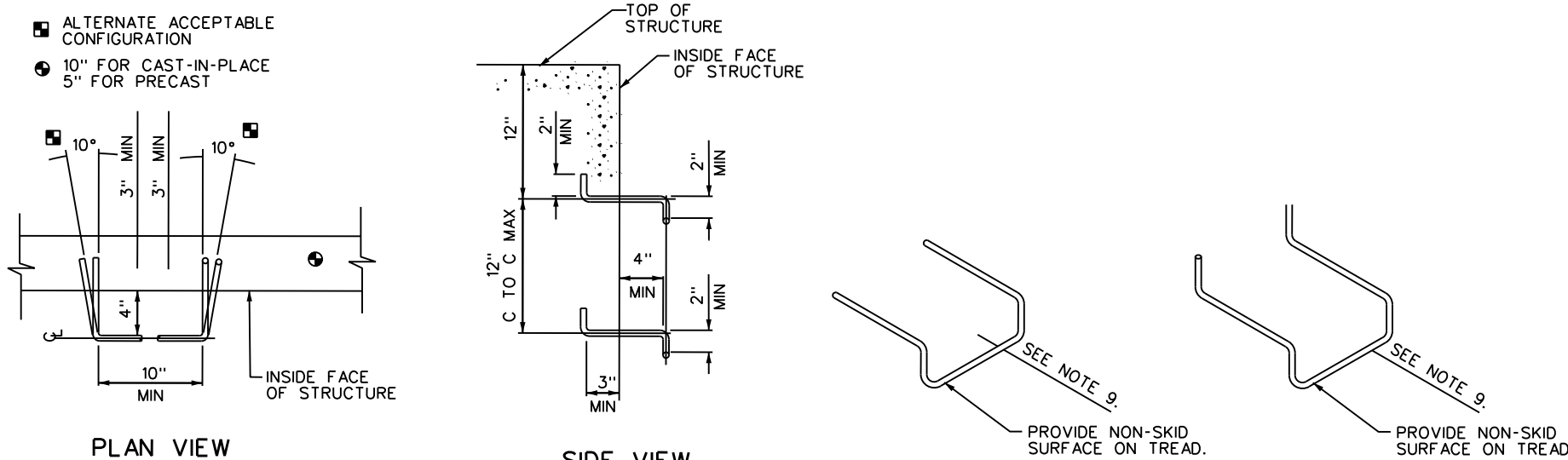
1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE CURB AND FOR PLAIN CEMENT CONCRETE CURB GUTTER.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4" PREMOLOD EXPANSION JOINT MATERIAL, EVERY 50 FEET (MAX.) AND AT ALL DRIVEWAYS (DEPRESSED CURB CUTS), INLETS AND CURB RADI.
4. SEE DRAWING "TRANS" FOR PLAIN CEMENT CONCRETE CURB SLOPED TOP TREATMENT AT END OF STRUCTURES.
5. DOWEL PIN WHERE CURB ABUTS INLET HOODS.

CURBS AND GUTTERS
N.T.S.



TYPE M INLET
N.T.S.

TYPE M INLET
N.T.S.

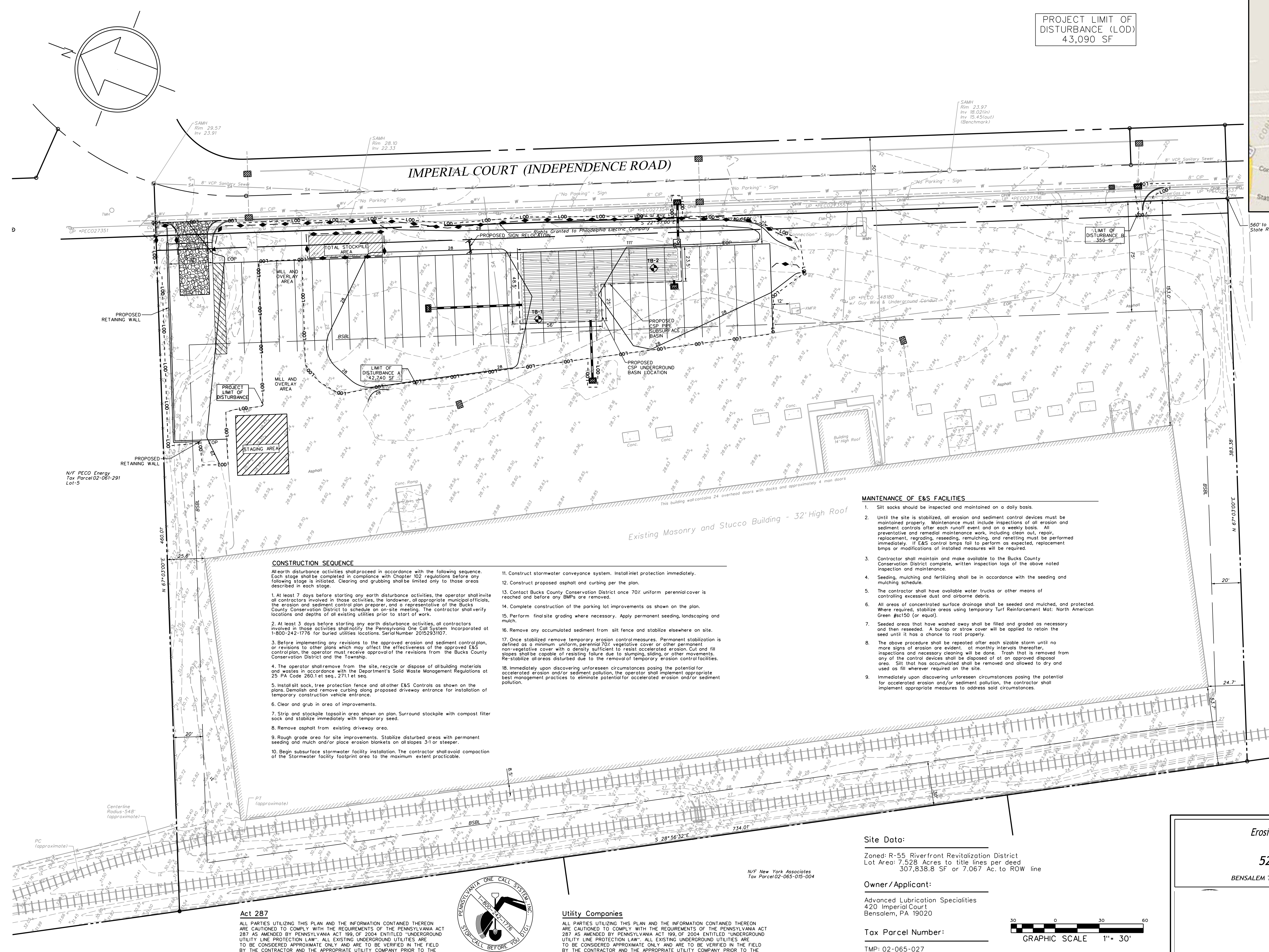


TYPICAL STEP CONFIGURATION

MANHOLE/INLET STEPS

STEP WITHOUT HOOKS
SEE NOTE 10.

STEP WITH HOOKS



Location Map
Scale: 1" = 1000'

Legend	
	Existing Right-of-Way
	Existing Property Line
	Existing Easements
	Existing Building
	Existing Edge of Pavement
	Existing Utility Pole
	Existing Edge of Vegetation
	Existing Edge of Stream
	Existing Single White Line
	Existing Guideline
	Existing Fence
	Existing Curb
	Existing Fire Hydrant
	Existing Sidewalk
	Existing Soils Limit
	Existing Inlet
	Existing Sign
	Existing Manhole
	Existing Water Valve
	Existing Light Standard
	Existing Clean Out
	Existing Roof Drain
	Existing Yard Drain
	Existing Sanitary Manhole
	Existing Telephone Manhole
	Existing Gas Valve
	Existing Index Contour Line
	Existing Contour Line
	Existing Water Line
	Existing Sanitary Sewer
	Existing Storm Sewer
	Existing Gas Line
	Proposed Curb
	Proposed Contour
	Proposed Spot Grade
	Proposed Infiltration Testing Location
	Proposed Subsurface Basin
	Proposed Silt Sock
	Limit of Disturbance - 43,090 SF (0.989 AC)
	Limit of Disturbance - 42,740 (A) - 350 (B) - 43,090 SF
	Inlet Protection

MAINTENANCE OF E&S FACILITIES

1. Silt socks should be inspected and maintained on a daily basis.
2. Until the site is stabilized, all erosion and sediment control devices must be maintained properly. Maintenance must include inspections of all erosion and sediment controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, mulching, and renetting must be performed immediately. If E&S control bmps fail to perform as expected, replacement bmps or modifications of installed measures will be required.
3. Contractor shall maintain and make available to the Bucks County Conservation District complete, written inspection logs of the above noted inspection and maintenance.
4. Seeding, mulching and fertilizing shall be in accordance with the seeding and mulching schedule.
5. The contractor shall have available water trucks or other means of controlling excessive dust and airborne debris.
6. All areas of concentrated surface drainage shall be seeded and mulched, and protected. Where required, stabilize areas using temporary Turf Reinforcement Mat: North American Green #ec150 (or equal).
7. Seeded areas that have washed away shall be filled and graded as necessary and then reseeded. A burlap or straw cover will be applied to retain the seed until it has a chance to root properly.
8. The above procedure shall be repeated after each sizable storm until no more signs of erosion are evident. At monthly intervals thereafter, inspections and necessary cleaning will be done. Trash that is removed from any of the control devices shall be disposed of at an approved disposal area. Silt that has accumulated shall be removed and allowed to dry and used as fill wherever required on the site.
9. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the contractor shall implement appropriate measures to address said circumstances.

CONSTRUCTION SEQUENCE

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed in compliance with Chapter 102 regulations before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.

1. At least 7 days before starting any earth disturbance activities, the operator shall notify all contractors involved in those activities, the landowner, appropriate municipal officials, the erosion and sediment control plan preparer, and a representative of the Bucks County Conservation District to schedule an on-site meeting. The contractor shall verify locations and depths of all existing utilities prior to start of work.
2. At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for buried utilities locations. Serial Number 2015293107.
3. Before implementing any revisions to the approved erosion and sediment control plan, or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the Bucks County Conservation District and the Township.
4. The operator shall remove from the site, recycle or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 PA Code 260.1 et seq., 271.1 et seq.
5. Install silt sock, tree protection fence and all other E&S Controls as shown on the plans. Demolish and remove curbing along proposed driveway entrance for installation of temporary construction vehicle entrance.
6. Clear and grub in area of improvements.
7. Strip and stockpile topsoil in area shown on plan. Surround stockpile with compost filter sock and stabilize immediately with temporary seed.
8. Remove asphalt from existing driveway area.
9. Rough grade area for site improvements. Stabilize disturbed areas with permanent seeding and mulch and/or place erosion blankets on all slopes 3:1 or steeper.
10. Begin subsurface stormwater facility installation. The contractor shall avoid compaction of the Stormwater facility footprint area to the maximum extent practicable.

11. Construct stormwater conveyance system. Install inlet protection immediately.
12. Construct proposed asphalt and curbing per the plan.
13. Contact Bucks County Conservation District once 70% uniform perennial cover is reached and before any BMPs are removed.
14. Complete construction of the parking lot improvements as shown on the plan.
15. Perform final site grading where necessary. Apply permanent seeding, landscaping and mulch.
16. Remove any accumulated sediment from silt fence and stabilize elsewhere on site.
17. Once stabilized remove temporary erosion control measures. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements. Re-stabilize all areas disturbed due to the removal of temporary erosion control facilities.
18. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.

Utility Companies

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Site Data:

Zoned: R-55 Riverfront Revitalization District
Lot Area: 7.528 Acres to title lines per deed
307,838.8 SF or 7.067 Ac. to ROW line

Owner/Applicant:

Advanced Lubrication Specialties
420 Imperial Court
Bensalem, PA 19020

Tax Parcel Number:

TMP: 02-065-027
Lot 6-7-8



Erosion and Sediment Control Plan

524 IMPERIAL COURT

BENSALEM TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DRAWN BY	JAC
CHECKED BY	MJE
DATE	03-10-16
DRAWING No.	D 2172 28 05

SEDIMENT CONTROL NOTES

- Erosion and sedimentation control shall be conducted in accordance with the Bucks County Soil Conservation District (BCSD) Standards.
- Before initiating any revisions to the approved erosion and sediment control plans or revisions to others plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the BCSD.
- The operator/responsible party shall assure that an erosion and sediment control plan has been prepared, approved by the appropriate Conservation District and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their locations.
- A copy of the approved erosion and sediment control plan must be available at the project site at all times.
- The contractor is advised to become thoroughly familiar with the provisions of the Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article II, Water Resources, Chapter 102, Erosion Control.
- At least 7 days before starting any earth disturbance activities, including clearing and grubbing, the operator/responsible party shall invite all contractors involved in that activity, the landowner, all appropriate municipal officials, the erosion and sediment control preparer, and the BCSD to a pre-construction meeting.
- At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System incorporated at 1-800-242-1776 for buried utilities locations. SN 2014174016 & 20141691854.
- Erosion and sedimentation activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the BCSD or by the Department prior to implementation.
- At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
- The operator/responsible party shall assure that the approved erosion and sediment control plan is properly and completely implemented.
- Erosion and sediment BMP's must be constructed, stabilized, and functional before site disturbance begins within the tributary areas of those BMP's. E&SFCPM p. 168.
- Silt fence must be installed at level grade. Both ends of each sock section must be extended at least 10 feet up slope at 45 degrees to the main barrier alignment.
- Any fence section which has been undermined or topped must be immediately replaced with a rock filter outlet. See Rock Filter Detail.
- Sediment must be removed when accumulations reach half the ground height of the barrier.
- Sediment must be removed from storm water inlet protection after each runoff event.
- Storm water inlets must be protected until the tributary areas have been stabilized.
- Stockpile height must not exceed 35 feet. Stockpile slopes must not exceed 2:1. (E&SFCPM p. 168)
- Immediately after earth disturbance activities cease, the operator/responsible party shall stabilize any areas disturbed by the activities. During non-germinating periods, much must be applied at the recommended rates. Disturbed areas which are not finished grade and will be redisturbed within one year may be stabilized in accordance with temporary seeding specifications. Disturbed areas which are at finished grade or which will not be redisturbed within one year must be stabilized in accordance with the permanent vegetative stabilization specifications.
- Until the site achieves final stabilization, the operator/responsible party shall assure that the best management practices are implemented, operated, and maintained properly and completely. Maintenance shall include inspections of all best management practice facilities and maintain and make available to the BCSD complete, written inspection logs of all those inspections. All maintenance work, including clearing, repair, replacement, regrading, reseeding, and renetting must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's or modifications to those installed will be required.
- An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- After final stabilization has been achieved, temporary erosion and sedimentation controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator/responsible party shall implement appropriate best management practices to eliminate or reduce erosion and/or sediment pollution and notify the local conservation district and/or the regional office of the Department.
- Much with much control netting or erosion control blankets should be installed on all slopes 3:1 or steeper.
- Straw mulch should be applied in long strands, not chopped or finely broken.
- All building materials and wastes shall be removed from the site, recycle, or dispose of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped or discharged at the site.
- All off-site waste and borrow areas must have E&S plan approval by the local conservation district or the Department fully implemented prior to being activated.
- The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of regulated substance by qualifying as clean fill due to analytical testing.
- Sediment removed from BMP's shall be disposed of in landscape areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
- Six inches (6") of topsoil cover is to be provided, after settlement, over all the site's exposed earth surfaces.
- Winter earth moving activities shall be monitored by a geotechnical engineer.
- Should severe ground water conditions be encountered during construction activities that affect the erosion and sedimentation control measures, the geotechnical engineer shall coordinate remediation measures.
- Alumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.
- Operator/responsible party shall inspect all storm water conveyance pipes, inlets, and water quality inlets regularly and clean at least twice a year to remove sediment, accumulated oil and grease, floatables, and other pollutants. Sediment should be removed from skimmer structures less frequently but the structures still must be inspected periodically. Wastes removed from the systems should be tested to determine proper disposal methods. The wastes may be hazardous therefore, maintenance costs should be budgeted to include disposing of wastes at a proper site.
- The erosion and sediment control plan must display a PA ONE CALL SYSTEM INCORPORATED symbol including the site identification number.
- Until the site is stabilized, all erosion and sediment BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis. All preventive and remedial maintenance work, including clean out repair, replacement, regrading, reseeding, and renetting must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's or modifications to those installed will be required.
- At the end of each working day, any sediment tracked or conveyed onto a public roadway will be removed and redeposited onto the construction site. Removal can be completed through use of mechanical or hand tools, but must never be washed, shoveled, or swept into any roadside ditch, storm sewer or surface water.
- Before initiating any revisions to the approved erosion and sediment control plans or revisions to others plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the Montgomery County Conservation District.
- Permittees and co-permittees are responsible for ensuring that a licensed professional have oversight responsibilities for the design and proper installation of BMP's identified in the PCSM Plan prior to the submission of the NOT for this permit. The licensed professional shall certify that the BMP's identified in the plan have been installed in accordance with the approved plan. The installation schedule of PCSM BMP's and maintenance requirements contained within the PCSM Plan must be followed and failure to comply with the installation schedule is a violation of this permit, the Clean Streams Law, and the Clean Water Act.
- Upon the installation or stabilization of all perimeter sediment control BMP's and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or co-permittee shall provide notification to the department or authorized conservation district.
- Failure to correctly install E&S BMP's, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMP's may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the PA Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day civil penalties, up to \$10,000 in summary criminal penalties and up to \$25,000 in misdemeanor criminal penalties for each violation.

DEFINITIONS

- If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill rests with the contractor.
- CLEAN FILL is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for reuse).
- Clean fill affected by a spill or release of a regulated substance: Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".
- Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the materials as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill. A copy of Form FP-001 can be found at the end of these instructions.
- ENVIRONMENTAL DUE DILIGENCE: The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sorbent mops, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the post land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".
- FILL material that does not qualify as clean fill regulated fill. Regulated fill's waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at www.pacode.com.
- SWM Facility Surface Site Preparation
- Invasive species, particularly those that will adapt to wet conditions, shall be removed or sprayed before they become incorporated into the site. With the engineer's specifications and dimensions in hand, on-site construction of the berm and outlets must be executed carefully in order to maintain structural integrity. Intended amended soil mixture as specified in areas noted on plans. The infiltration and plant growth areas shall be loose and friable. High organic matter, and completed without compaction from heavy equipment. The excavation machine does not move over the finished surface, thus avoiding unnecessary compaction. Native vegetation shall be planted or seeded over this uneven, absorbent surface.
- SWM Facility Surface Seeding and Planting Methods
- Seeding and planting should begin immediately upon completion of the structure when the soils still friable and before invasive weeds emerge. Plan seeding and planting before the basin is flooded, or allow the basin to drain to a few inches before seeding. Broadcast seed evenly over each unit by hand seeding or hydroseeding. Seeding rates are generally 10 to 12 lb per 1,000 sq ft. The use of a seed filler, i.e., PAW-12, can be used to create a mix of 10 lb per 1,000 sq ft (i.e., 9-1/2 lb of PAW-12 mixed with 1/2 lb of seed), which can be broadcast evenly over the area. Intillive grass seeding to protect the soil in storm water management facilities until permanent vegetation can be established. Install erosion control blankets on sloped areas and vegetation plugs as specified. Install straw mulch or straw coconut mulch in basin bottom areas to control erosion and protect emerging seedlings from extreme temperatures and drying out. Mulch should be sparse to allow sunlight to reach the ground. Water herbaceous plugs and transplanted seedlings until they become well rooted.
- General Maintenance
- In addition to structural maintenance, attention needs to be removed as needed. Plants need to be trimmed back to maintain aesthetic value and invasive species need to be controlled. Contractor shall mow at minimum 6" height and not use of chemical weed control shall include and as directed by owner.

STABILIZATION NOTES

- Stockpile heights must not exceed 35'. Stockpile slopes must be 2:1 or flatter.
- Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall stabilize immediately the disturbed areas to protect from accelerated erosion. During non-germinating periods, much must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas which are either at finished grade or will not be redisturbed within 1 year, must be stabilized in accordance with permanent seeding specifications.
- Diversion channels, sediment trap, and stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tons per acre. Straw mulch should be applied in long strands, not chopped or finely broken.
- Until the site has achieved final stabilization the owner and/or contractor shall properly implement, operate and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation control after each runoff event and on a weekly basis. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the BCSD and DEP upon request.
- Site inspections and maintenance of all BMP's shall be conducted weekly, after every runoff event and also prior to any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the BCSD and DEP upon request.
- All preventive and remedial maintenance work, including clean out repair, replacement, regrading, reseeding, renetting, and renetting, must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's or modifications to those installed will be required.
- Where BMP's are found to fail to alleviate erosion and sediment pollution, the permittee shall include the following information:
 - The location and severity of the BMP's failure and any pollution events.
 - All steps taken to reduce, eliminate, and prevent the recurrence of the non-compliance.
 - The time frame to correct the non-compliance, including the exact dates when the activity will return to compliance.
- After final stabilization has been achieved, temporary erosion and sediment BMP's must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
- Erosion control blankets must be installed on all slopes 3:1 or greater.

PROPOSED TEMPORARY SEEDING

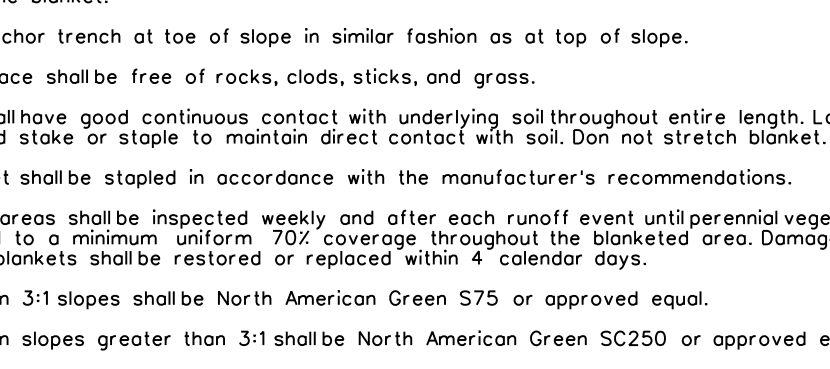
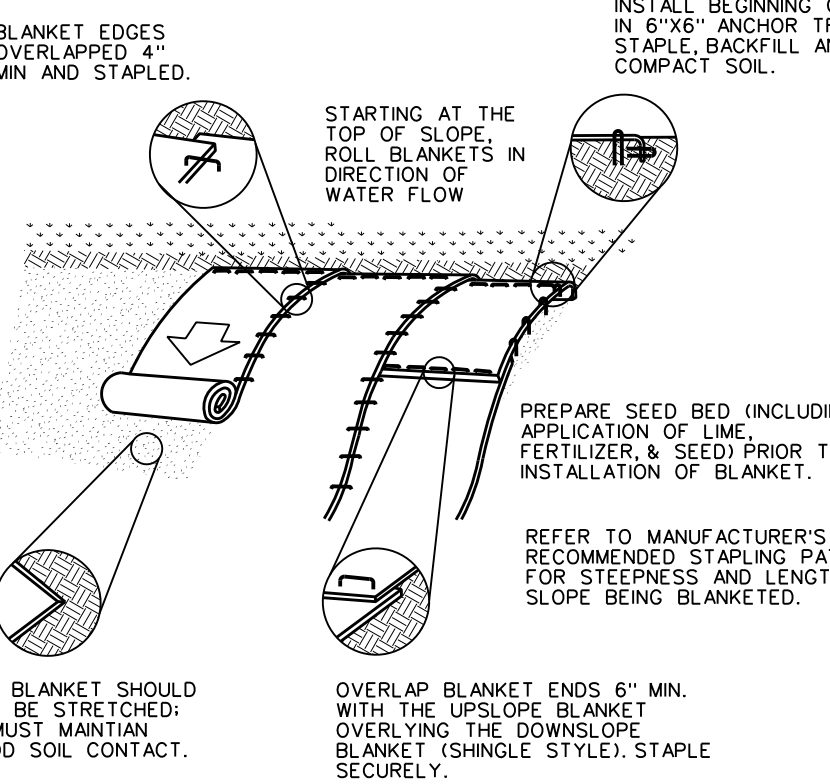
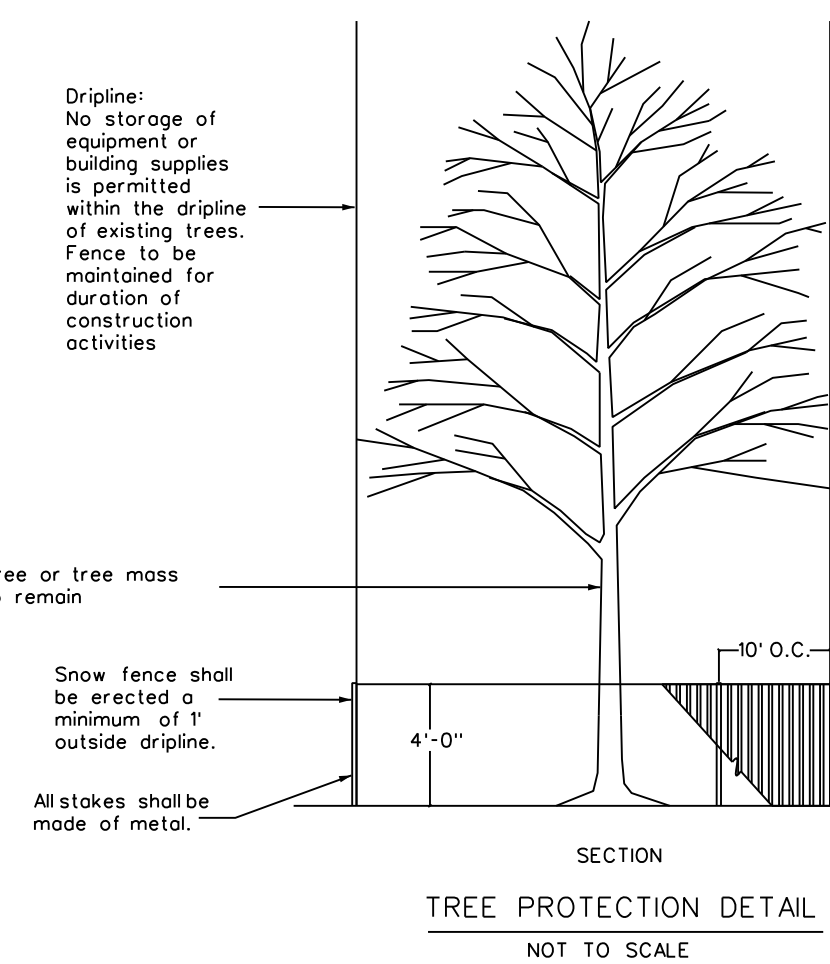
100% Perennial Ryegrass
Rate: 1 Lbs. per 1,000 s.f. - 0.02 Tons/Ac.
Provide clean mulch on all seeded areas.
Fertilizer: 12.5 Lbs. per 1,000 s.f.
(10-10-10 Equiv. - 0.25 Tons/Ac.)
Lime: 40 Lbs. per 1,000 s.f. - 1 Tons/Ac.
Straw Mulch: 135 Lbs. per 1,000 s.f. - 3 Tons/Ac.

PROPOSED PERMANENT SEEDING/SOD FOR LAWN AREAS

80% Turf Type Tall Fescue
(3 dark green drought tolerant varieties min.)
10% Kentucky Bluegrass (drought tolerant variety)
10% Turf Type Perennial Ryegrass
Rate: 6 lbs. per 1,000 s.f. - 262 lbs./Ac.
Provide clean straw mulch on all seeded areas
Fertilizer: 25 lb. per 1,000 s.f. - 0.5 Tons/Ac.
Lime: 240 lb. per 1,000 s.f. - 6 Tons/Ac.

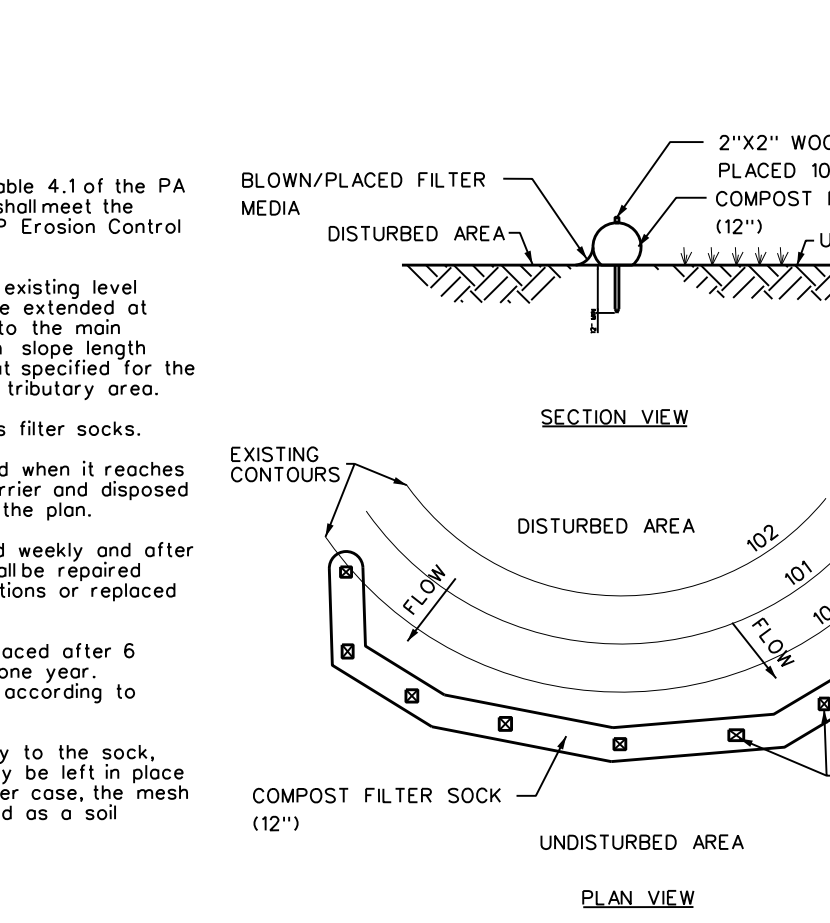
PROPOSED PERMANENT SEEDING FOR STEEP SLOPES

Ernst Seed Co. Mix - x 16
"Native Steep Slopes Mix with Annual Rye Grass"
Rate: 1 lb. per 1000 s.f.
Mulch: Clean Straw - 140 lb. per 1000 s.f. - 3 Tons/Ac.
Provide clean mulch on all seeded areas
Fertilizer: 25 lb. per 1,000 s.f. - 0.5 Tons/Ac.
Lime: 240 lb. per 1,000 s.f. - 6 Tons/Ac.



STANDARD CONSTRUCTION DETAIL •11-1
EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE



COMPOST FILTER SOCK DETAIL

NOT TO SCALE

LOCATION	SLOPE PERCENT	MAXIMUM SLOPE LENGTH (ft)
All Locations	Max Slope 33%	10 FT

Tree Protection Specifications

- Pre-construction pruning.

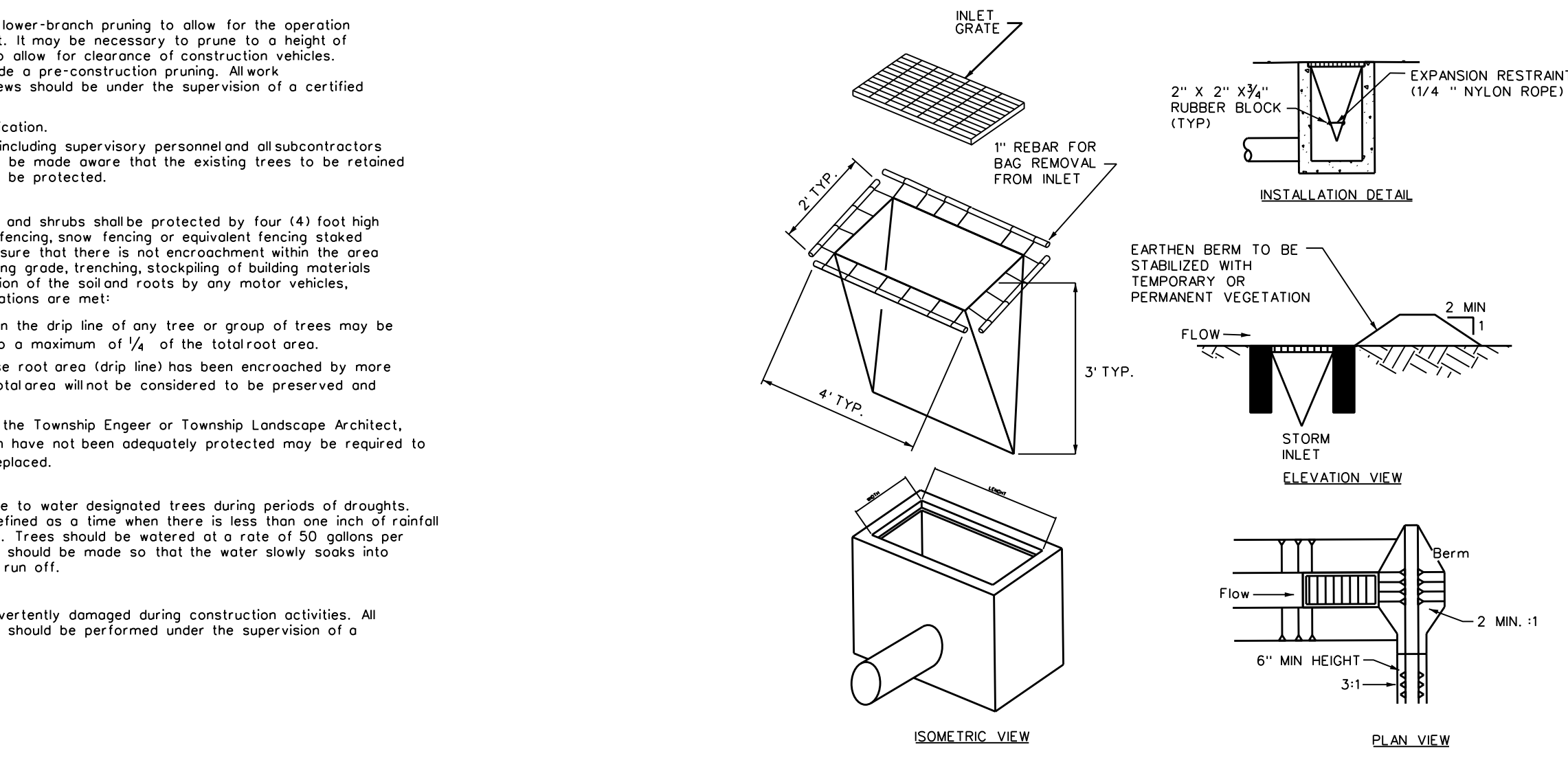
Some trees may require lower-branch pruning to allow for the operation of construction equipment. It may be necessary to prune to a height of fifteen (15) ft or more to allow for clearance of construction vehicles. Trained personnel should do a pre-construction pruning. All work performed by pruning crews should be under the supervision of a certified arborist.
 - Construction personnel notification.

All contractor employees, including supervisory personnel and all subcontractors and their personnel should be made aware that the existing trees to be retained are valuable and need to be protected.
 - Tree protection zone.

During construction trees and shrubs shall be protected by four (4) foot high plastic web construction fencing, snow fencing or equivalent fencing staked every ten (10) feet to ensure that there is not encroachment within the area of their drip line by changing grade, trenching, stockpiling of building materials or topsoil or the compaction of the soil and roots by any motor vehicles, unless the following regulations are met:
 - A. The root area within the drip line of any tree or group of trees may be encroached upon to a maximum of 1/4 of the total root area.
 - B. Existing trees whose root area (drip line) has been encroached by more than 1/4 of the total area will not be considered to be preserved and must be replaced.
 - C. At the direction of the Township Engineer or Township Landscape Architect, existing trees which have not been adequately protected may be required to be removed and replaced.
- Tree watering.

Provisions should be made to water designated trees during periods of droughts. Periods of drought are defined as a time when there is less than one inch of rainfall during any 30-day period. Trees should be watered at a rate of 50 gallons per inch diameter. Application should be made so that the water slowly soaks into the ground and does not run off.
 - Post-construction pruning.

Some trees may be inadvertently damaged during construction activities. All post-construction pruning should be performed under the supervision of a certified arborist.



Maximum Drainage Area - 1/2 acre.

Inlet protection is not required for inlet tributary to sediment basin or trap. Berms shall be required for all installations.

Rollled earthen berm in roadway shall be maintained until roadway is stoned. Road subbase berm on roadway shall be maintained until roadway is paved. Earthen berm in channel shall be maintained until permanent stabilization is completed or remain permanently.

At a minimum, the fabric shall have a minimum grab tensile strength of 120 lbs. a minimum burst strength of 200 psi and a minimum tear strength of 50 lbs. Filter bags shall be capable of trapping all particles not passing a No. 40 sieve.

Inlet filter bags shall be inspected on a weekly basis and after each runoff event. Bags shall be emptied and rinsed or replaced when half full or when flow capacity has been reduced or when the bags are damaged or clogged. A supply shall be maintained on site for replacement of bags. All needed repairs shall be initiated immediately after the inspection. Dispose accumulated sediment as well as all used bags according to the plan notes.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS

FILTER BAG INLET PROTECTION DETAIL

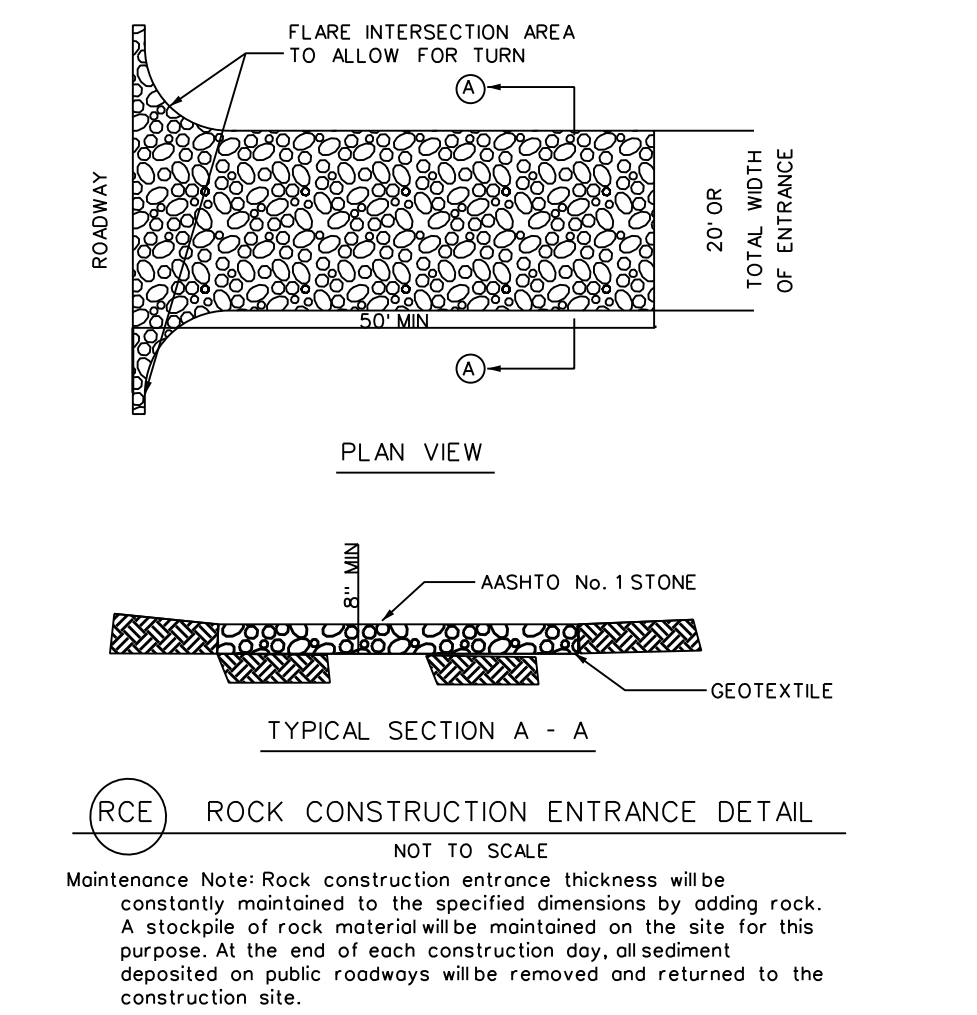
NOT TO SCALE

STANDARD CONSTRUCTION DETAIL •4-6
ROCK FILTER OUTLET

NOT TO SCALE

A rock filter outlet shall be installed where failure of a silt fence or straw bale barrier has occurred due to concentrated flow. Anchored compost layer shall be used on upslope face in HQ and EV watersheds.

Sediment shall be removed when accumulations reach 1/3 the height of the outlet.



Erosion and Sediment Control Details

524 IMPERIAL COURT

BENSALEM TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DRAWN BY	JAC
CHECKED BY	MJE
DATE	03-10-16
DRAWING NO.	D 2172 28 06

